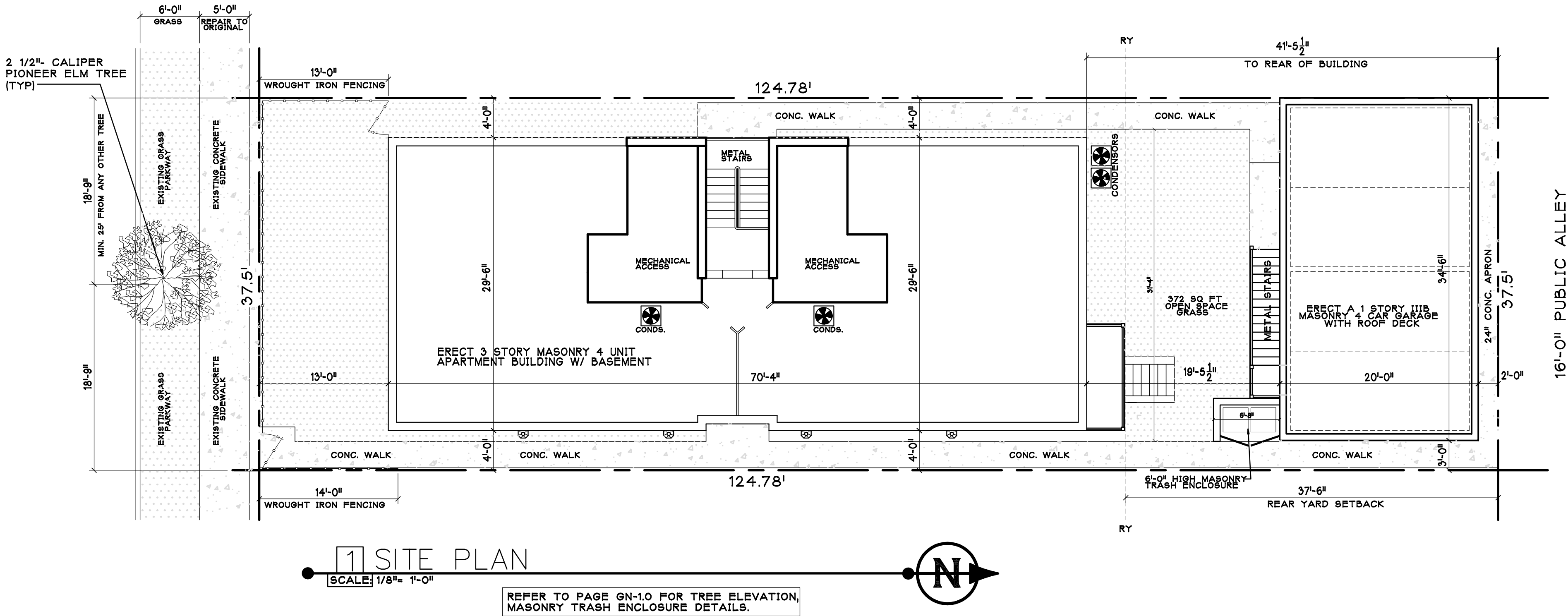
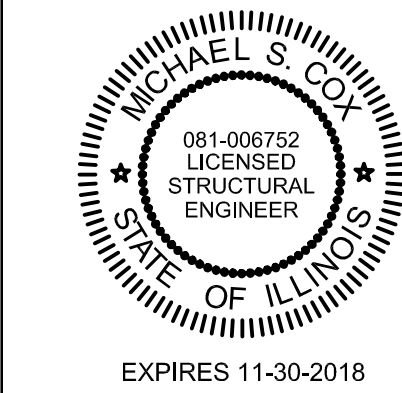


ERECT A 3 STORY, IIIB' MASONRY 4 UNIT BUILDING WITH BASEMENT AND DETACHED 4 CAR GARAGE



DEPARTMENT OF BUILDINGS  
STANDARD PLAN REVIEW  
**CONDITIONAL PERMIT**  
Construction subject to full compliance with the Municipal Code of Chicago and field inspection by Building Commissioners  
By *[Signature]*  
**SELF CERTIFICATION**



	PERMIT	8/18
No.	Revision/Issue	Date

MC & Associates, LLC  
120 W. MADISON  
SUITE 310  
CHICAGO, IL 60602

PROJECT:  
ERECT A NEW MASONRY 4 UNIT BUILDING W/ BASEMENT

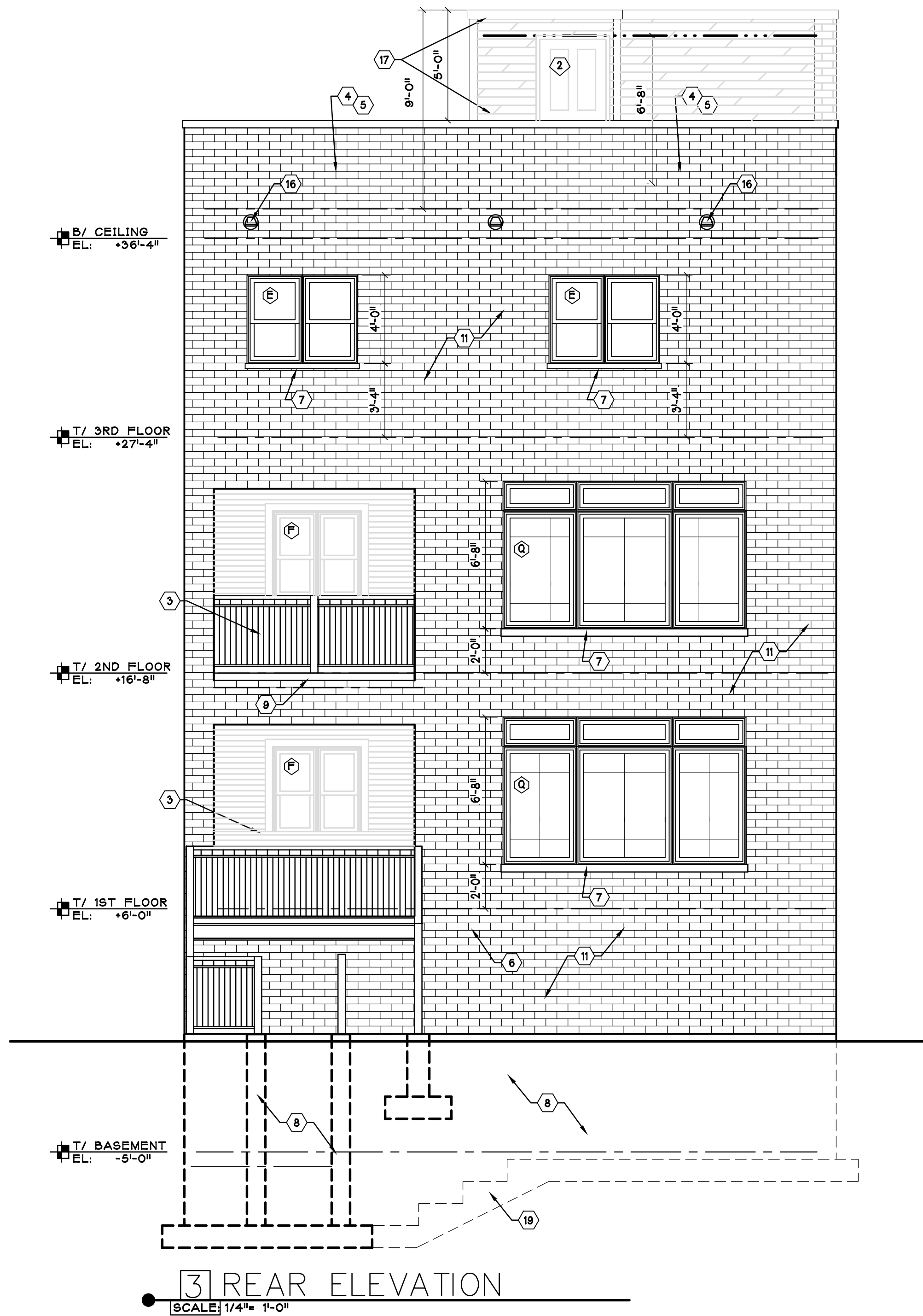
PROJECT #: GP	DRAWING TITLE:
DATE: 7/18	DRAWING #:
SCALE: AS NOTED	SP-1.0

TAGGED NOTES

MARK	DESCRIPTION OF ITEM		
1	NON COMBUSTIBLE METAL STAIRS WITH MAXIMUM 8" RISE & A 10" TREAD INCLUDING 1" NOSING. STAIR TO HAVE A MIN 36" HIGH HANDRAIL ON ONE SIDE, AS WELL AS A 42" HIGH GUARD RAILING AT LANDINGS AND OPEN DECKS. ALL RAILINGS ARE TO BE CONSTRUCTED TO WITHSTAND A 200# HORIZONTAL LOAD ALONG ANY PORTION OF THE RAILING.	6	ALUMINUM SCUPPER AND DOWNSPOUT.
2	NON COMBUSTIBLE METAL LANDING/DECK WITH 42" HIGH ORNAMENTAL IRON RAILINGS AS WELL AS 36" HIGH RAILING ALONG ANY STAIRS. ALL RAILINGS ARE TO BE CONSTRUCTED TO WITHSTAND A 200# HORIZONTAL LOAD ALONG ANY PORTION OF THE RAILINGS. ALL VERTICAL MEMBERS OF THE RAILING TO HAVE A MAXIMUM SPACING OF 4" BETWEEN EACH OTHER.	7	4" STONE SILL (TYPICAL).
3	42" HIGH ORNAMENTAL IRON RAILINGS AS WELL AS 36" HIGH RAILING ALONG ANY STAIRS. ALL RAILINGS ARE TO BE CONSTRUCTED TO WITHSTAND A 200# HORIZONTAL LOAD ALONG ANY PORTION OF THE RAILINGS. ALL VERTICAL MEMBERS OF THE RAILING TO HAVE A MAXIMUM SPACING OF 4" BETWEEN EACH OTHER.	8	FOOTING AND FOUNDATION WALL, 42" BELOW GRADE MIN. SEE SECTION ON AR-3.0.
4	42" HIGH MASONRY PARAPET WALL WITH COPING.	9	4" ALUMN. COPING ATOP MASONRY WALL
5	4" ALUMINUM COPING .	10	4" MIN. CONCRETE FOUNDATION EXPOSURE.
		11	UTILITY BRICK, MATCH COLOR TO FRONT FACE BRICK
		12	4' STONE COPING, RAKE AND CAULK ALL JOINTS.
		13	12" CONC. PIER WITH 36" 36" 12" FOOTING, MIN 42" BELOW GRADE
		14	FACE BRICK AND STONE, .RE FRONT ELEVATION.
		15	EXPANSION JOINT, MATCH CAULK TO BRICK COLOR.
		16	VENT TO ALLOW AIR CIRCULATION, PROVIDE SCREENING.
		17	ROOF ACCESS FOR MECHANICAL ONLY. PROVIDE A MAX CEILING OF 6'-8". ALSO MAKE FLOOR OF ACCESS ROOM 8" HIGHER THAN EXTERIOR ROOF.
		18	ADDRESS LOCATION, VERIFY WITH OWNER.
		19	STEP IN FOOTING, MAX 12" RISE AND A 24" RUN.
		20	12"X12" FRESH AIR VENT
		21	4" HSS TUBE, DOWN TO FOUNDATION
		22	CORBEL CHIMNEY 5/8" PER COURSE
		23	HARDIE BOARD SIDING OVER METAL STUD WALL.

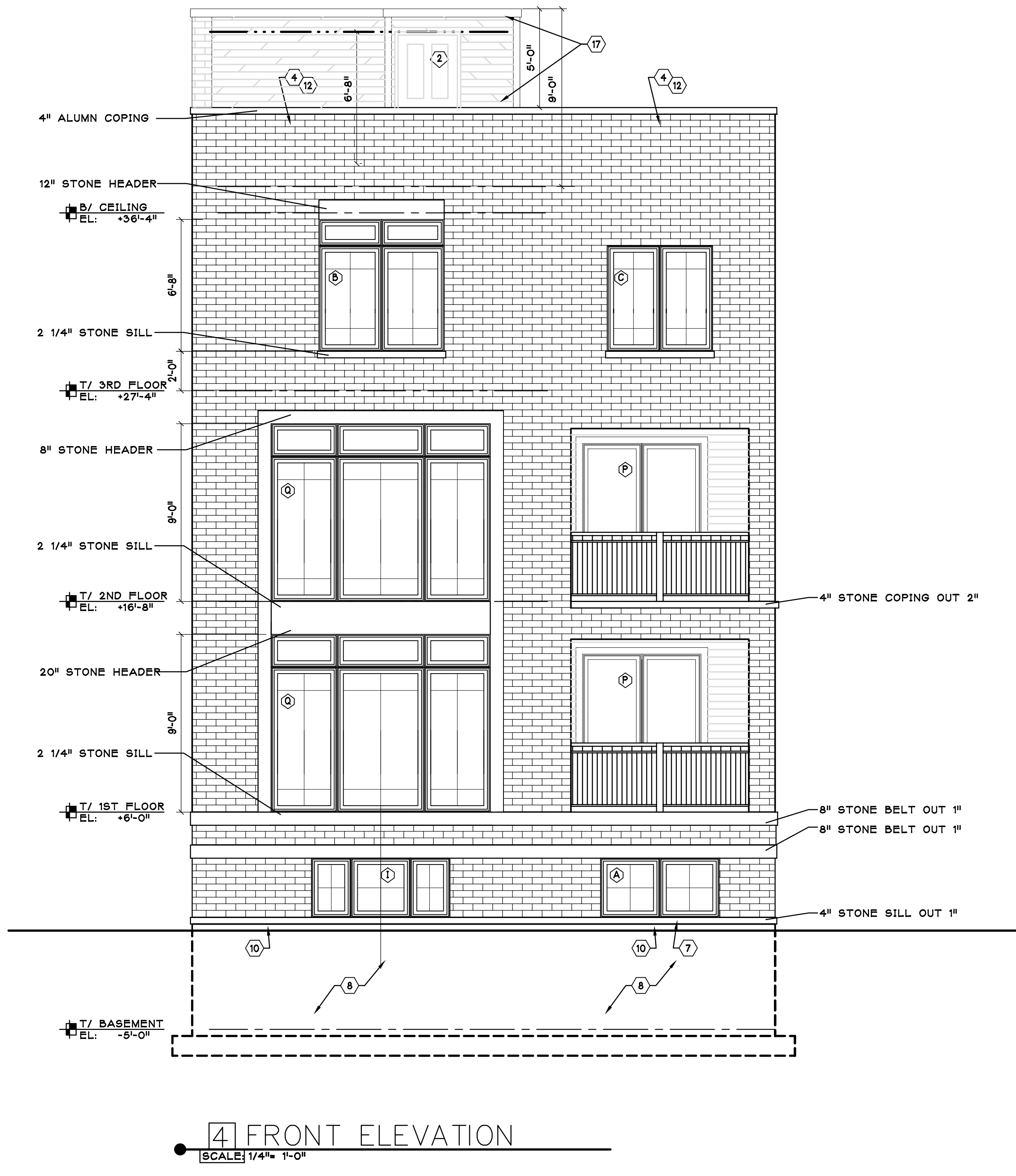


RT-4 - ERECT A NEW (3) STORY (4) D.U. BUILDING W/ BASEMENT, ROOFTOP STAIRWAY ENCLOSURES, OPEN DECKS, SIDE OPEN PORCH, REAR OPEN PORCH, TRASH ENCLOSURE, FENCES, AND A DETACHED (4) CAR GARAGE W/ ROOF DECK. 11/6/18



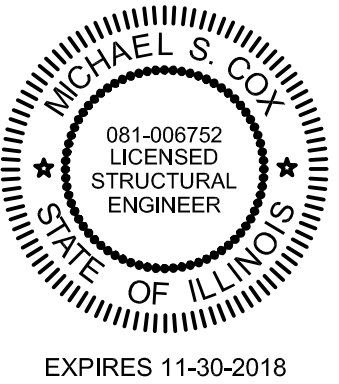
3 REAR ELEVATION

SCALE 1/4" = 1'-0"



4 FRONT ELEVATION

SCALE 1/4" = 1'-0"



PERMIT	8/18
No.	Revision/Issue
	Date

MC & Associates, LLC

120 W. MADISON  
SUITE 310  
CHICAGO, IL 60602

PROJECT:

ERECT A NEW MASONRY 4 UNIT BUILDING W/ BASEMENT

PROJECT #:	DRAWING TITLE:
GP	
DATE:	
7/18	
SCALE:	DRAWING #:
AS NOTED	AR-1.7

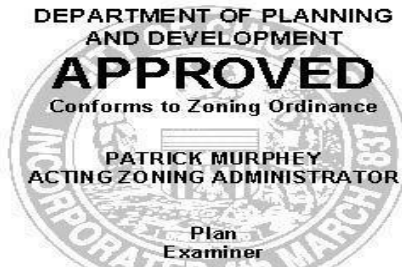


By *[Signature]*

**SELF CERTIFICATION**

**TAGGED NOTES**

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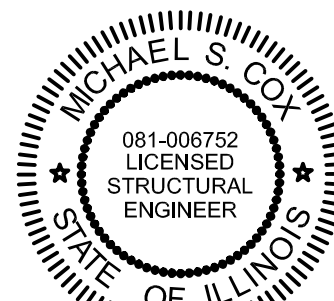


**RT-4 - ERECT A NEW (3) STORY (4) D.U. BUILDING W/ BASEMENT, ROOFTOP STAIRWAY ENCLOSURES, OPEN DECKS, SIDE OPEN PORCH, REAR OPEN PORCH, TRASH ENCLOSURE, FENCES, AND A DETACHED (4) CAR GARAGE W/ ROOF DECK. 11/6/18**



**1 RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



EXPIRES 11-30-2018

PERMIT	8/18
No.	Revision/Issue
	Date

**MC & Associates, LLC**

120 W. MADISON  
SUITE 310  
CHICAGO, IL 60602

PROJECT:

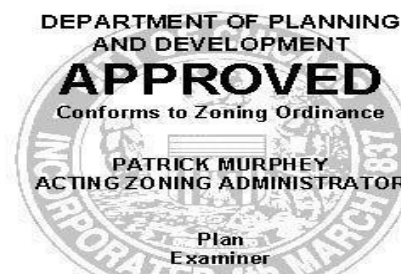
ERECT A NEW MASONRY 4 UNIT BUILDING W/ BASEMENT

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7/18	
SCALE:	DRAWING #:
AS NOTED	AR-1.5

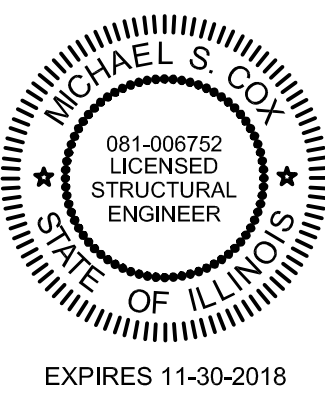
By *[Signature]*  
**SELF CERTIFICATION**

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RT-4 - ERECT A NEW (3) STORY (4) D.U. BUILDING W/ BASEMENT, ROOFTOP STAIRWAY ENCLOSURES, OPEN DECKS, SIDE OPEN PORCH, REAR OPEN PORCH, TRASH ENCLOSURE, FENCES, AND A DETACHED (4) CAR GARAGE W/ ROOF DECK. 11/6/18



PERMIT	8/18
No.	Revision/Issue
	Date

MC & Associates, LLC

120 W. MADISON  
SUITE 310  
CHICAGO, IL 60602

PROJECT: \_\_\_\_\_  
  
ERECT A NEW MASONRY 4 UNIT BUILDING W/ BASEMENT

PROJECT #:	DRAWING TITLE:
GP	
DATE:	DRAWING #:
7/18	
SCALE:	
AS NOTED	AR-1.6



## WALL LEGEND

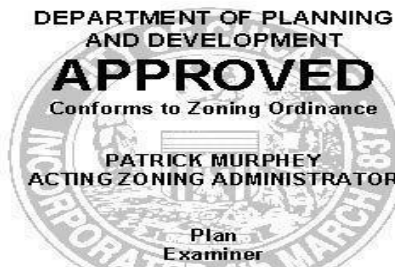
APPEARANCE	TYPE	DESCRIPTION	UL #	HOURLY RATING	LOCATION	REMARKS
	MASONRY	4" BRICK OR JUMBO BRICK WITH 6" CONCRETE BLOCK BACKING WITH DUOWALL @ 16" O.C. AND 4" FURRING @ 16" O.C. WITH VAPOR BARRIER AND R-17.5 POLY. INSULATION COVERED W/ 5/8" INTERIOR GYPSUM BOARD.	U802	4HR	ALL EXTERIOR WALLS	CLASS D-2 CMU
	MASONRY	4" BRICK OR JUMBO BRICK EACH SIDE WITH 4" CONC. BLOCK CENTER. MAINTAIN 5/8" AIR SPACE.	U802	4HR	FRONT DECKS	CLASS D-2 CMU
	MASONRY	8" THRU-WALL BLOCK WITH 2"x2" FURRING @ 16" O.C. W/ VAPOR BARRIER & R-15 BATT. INSULATION COVERED W/ 5/8" INTERIOR GYPSUM BOARD.	U801	4HR	BETWEEN PUB. STAIR & UNIT	CLASS B-4 CMU
	FRAME	2"x4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C. 1 LAYER OF 1/2" INTERIOR GYP. BD ON EACH SIDE. W/ SOUND OR THERMAL INSULATION	N/A	N/A	INTERIOR WALLS	
	FRAME	2"x4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C. 1 LAYER OF 1/2" INTERIOR GYP. BD ON EACH SIDE.	N/A	N/A	MOST INTERIOR WALLS	
	FRAME	2"x4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C. 2 LAYER OF 5/8" F.C. GYP. BD ON EACH SIDE. WITH SOUND INSULATION.	U301	2HR	NOT USED	TYPE C GYP BD
	MTL FRAME	ALUMINUM SIDING OVER 5.5" METAL STUDS @ 16" O.C. 4 LAYER OF 1/2" F.C. GYP. BD ON EACH SIDE. WITH R-21 FIBERGLASS BATT. INSUL.	U426	3HR	MECH. ACCESS STAIR TOP ON ROOF	TYPE C GYP BD
	MTL FRAME	ALUMINUM SIDING OVER 5.5" METAL STUDS @ 16" O.C. 2 LAYER OF 1/2" F.C. GYP. BD ON EACH SIDE. WITH R-21 FIBERGLASS BATT. INSUL.	U419	2HR	INTERIOR DECKS	TYPE C GYP BD
	DOOR	STANDARD WOOD OR METAL DOOR	N/A	N/A	N/A	REFER TO DOOR SCHEDULE FOR SIZES & TYPES
	WINDOW	STANDARD ALUMINIUM CLAD WINDOW	N/A	N/A	N/A	REFER TO WINDOW SCHEDULE FOR SIZES & TYPES

## NOTES:

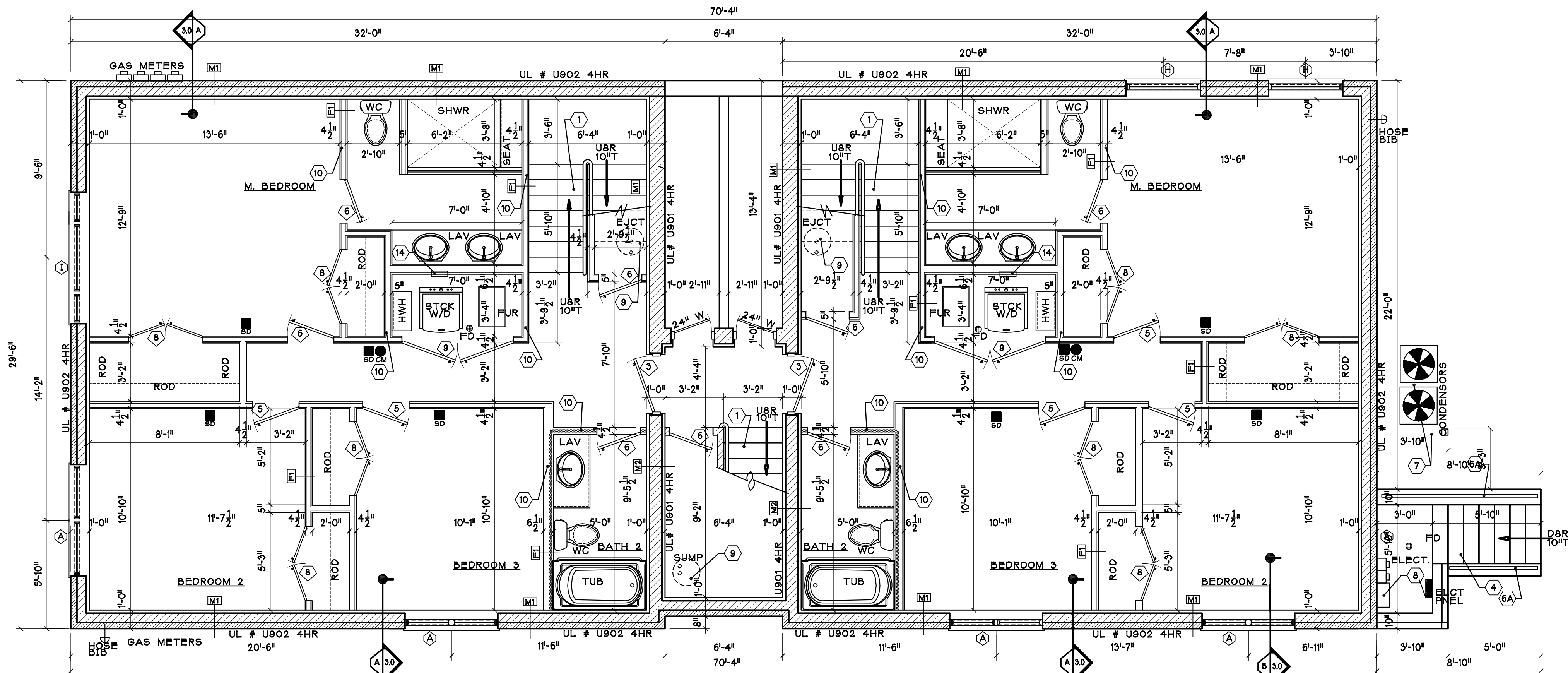
1. REFER TO UL BOOK FOR MORE INFORMATION ON THE WALL ASSEMBLIES.

## TAGGED NOTES

MARK	DESCRIPTION OF ITEM
1	CARPENTER BUILT WOOD STAIRS WITH MAXIMUM 8" RISE AND A 10" TREAD INCLUDING 1" NOSING. STAIR TO HAVE A MIN. 36" HIGH HANDRAIL ON ONE SIDE. AS WELL AS A 42" HIGH GUARD RAILING WHEN A STAIR IS OPEN TO AN ADJACENT FLOOR. DETAIL 3/AR3.0 ALL RAILINGS TO RESIST A 200# APPLIED FORCE HORIZ. AND A 50# APPLIED FORCE VERTICALLY. DET: 1/5.1
2	NON COMBUSTIBLE METAL STAIRS WITH MAXIMUM 8" RISE & A 10" TREAD INCLUDING 1" NOSING. STAIR TO HAVE A MIN. 36" HIGH HANDRAIL ON ONE SIDE. AS WELL AS A 42" HIGH GUARD RAILING AT LANDINGS AND OPEN DECKS. ALL RAILINGS ARE TO BE CONSTRUCTED TO WITHSTAND A 200# HORIZONTAL LOAD ALONG ANY PORTION OF THE RAILING. DET: C/3.1
3	DECK TO HAVE A FLAT ROOF SYSTEM. PITCH TOWARDS SCUPPER. APPLY 2 X SLEEPERS ATOP FLAT ROOF. WITH COMPOSITE DECKING MATERIAL ABOVE. PROVIDE FLASHING AND BRING FLASHING UP UNDER STONE COPING.
4	CONCRETE STAIRS TO HAVE A MAXIMUM 8" RISE AND A 10" TREAD. BACK FILL WITH PROPER STONE TO PREVENT ANY FUTURE CRACKS. STAIRS TO HAVE 36" HAND RAIL ON EACH SIDE. ALSO STEPS TO HAVE A LIMESTONE CAP VENEER.
5	42" HIGH MASONRY PARAPET WALL WITH COPING.
6	METAL DECK AND LANDING WITH 42" HIGH IRON GUARD RAILING WITH PICKETS AT 4" O.C. ALL RAILING TO RESIST A 200# HORIZ. AND 50# VERTICLE APPLIED FORCE. PROVIDE 4X4 POST @ 60" O.C.
6A	42" HIGH METAL GUARD RAILING WITH PICKETS @ 4" O.C.
7	MECHANICAL CONDENSERS LOCATED ON CONCRETE PAD OR LEVELING PAD IF LOCATED ON ROOF.
8	ELECTRICAL EQUIPMENT CONSISTING OF A MAIN DISCONNECT AND HOUSE PANEL: TO BE WITHIN 5'-0" OF METERS.
9	SUMP PUMP AND EJECTOR, NOTCH OUT FOOTING AS REQUIRED.
10	SOUND INSULATION TYPICALLY FOUND AROUND BATHROOMS, FURNACE ROOMS AND LAUNDRY ROOMS
11	STORE BOUGHT ACCESS PANEL FOR ACCESS TO JACUZZI PUMP.
12	DIRECT VENT GAS FIREPLACE WITH COMBUSTION AIR KIT. NON COMBUSTIBLE HEARTH AS WELL AS A METAL SPARK ARREST AND A BLUE FLAME GAS IGNITOR.
13	ALUMINIUM SCUPPER AND DOWNSPOUT.
14	GUY GREY BOX FOR WASHER AND DRYER, VERIFY W/ PLUMBER.
14A	12" COUNTER TOP OVERHANG
15	10" DIA. ROOF VENT, TYPICAL.
16	4" STEEL COLUMN. SEE FRAMING
17	4" ALUMN. COPING ATOP MASONRY PARAPET. RAKE & CAULK JOINTS
18	BUILT UP CANT STRIP SLOPE TOWARDS SCUPPERS.
19	FLASH AT ROOF AND WALL INTERSECTION.
20	CLASS "A" RATED SINGLE PLY MODIFIED BITUMEN FLAT ROOFING SYSTEM.
21	5/4" DECKING ATOP WD FLOATERS. FIRE TREATED MATERIAL AND CONFORM TO ASTM-D-83

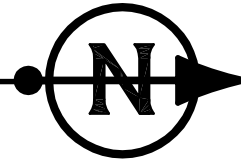


RT-4 - ERECT A NEW (3) STORY (4) D.U. BUILDING W/ BASEMENT, ROOFTOP STAIRWAY ENCLOSURES, OPEN DECKS, SIDE OPEN PORCH, REAR OPEN PORCH, TRASH ENCLOSURE, FENCES, AND A DETACHED (4) CAR GARAGE W/ ROOF DECK. 11/6/18



1 BASEMENT FLOOR PLAN

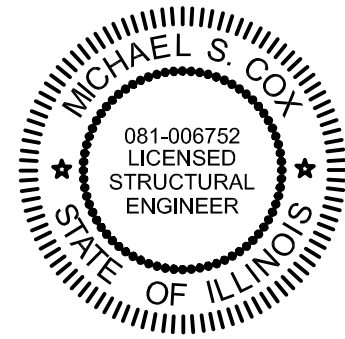
SCALE: 1/4"=1'-0"



"Fire-retardant-treated wood" means lumber or plywood that has a Class 1 rating when tested in accordance with ASTM E-84, UL 723, or NFPA 255 for a period of 30 minutes and which, at no time during the period of the test, shows evidence of significant progressive combustion or experiences progress of the flame front more than 10 1/2 feet beyond the centerline of burner. Each piece of fire-retardant-treated wood shall be identified at two-foot intervals by a label or a stamp of an approved agency acceptable to the building commissioner and the fire prevention bureau having an inspection service, and further by the marking of a continuous double line between the labels or stamps. Where fire-retardant-treated wood is to be subject to sustained high humidity or exposed to the weather, it shall be further identified to indicate there is no increase in listed fire hazard classification when subjected to "The Standard Rain Test" (ASTM D-2898-81).

By

**SELF CERTIFICATION**



	PERMIT	8/18
No.	Revision/Issue	Date

MC & Associates, LLC

120 W. MADISON  
SUITE 310  
CHICAGO, IL 60602

PROJECT:

ERECT A NEW MASONRY 4 UNIT BUILDING W/ BASEMENT

PROJECT #:	DRAWING TITLE:
GP	
DATE:	DRAWING #:
7/18	AR-1.0
SCALE:	
AS NOTED	



## WALL LEGEND

APPEARANCE	TYPE	DESCRIPTION	UL #	HOURLY RATING	LOCATION	REMARKS
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	MASONRY	4" BRICK OR JUMBO BRICK EACH SIDE WITH 4" CONC. BLOCK CENTER, MAINTAIN 5/8" AIR SPACE.	U902	4HR	FRONT DECKS	CLASS D-2 CMU
	MASONRY	8" THRU-WALL BLOCK WITH 2"X 2" FURRING @ 16" O.C. W/ VAPOR BARRIER & R-15 BATT. INSULATION COVERED W/ 5/8" INTERIOR GYPSUM BOARD.	U901	4HR	BETWEEN PUB. STAIR & UNIT	CLASS B-4 CMU
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 1 LAYER OF 1/2" INTERIOR GYP. BD ON EACH SIDE, W/ SOUND OR THERMAL INSULATION	N/A	N/A	INTERIOR WALLS	
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 1 LAYER OF 1/2" INTERIOR GYP. BD ON EACH SIDE.	N/A	N/A	MOST INTERIOR WALLS	
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 2 LAYER OF 5/8" F.C. GYP. BD ON EACH SIDE, WITH SOUND INSULATION.	U301	2HR	NOT USED	TYPE C GYP BD
	MTL FRAME	ALUMINUM SIDING OVER 5.5" METAL STUDS @ 16" O.C., 4 LAYER OF 1/2" F.C. GYP. BD ON EACH SIDE, WITH R-21 FIBERGLASS BATT. INSUL.	U426	3HR	MECH. ACCESS @ STAIR TOP ON ROOF	TYPE C GYP BD
	MTL FRAME	ALUMINUM SIDING OVER 5.5" METAL STUDS @ 16" O.C., 2 LAYER OF 1/2" F.C. GYP. BD ON EACH SIDE, WITH R-21 FIBERGLASS BATT. INSUL.	U419	2HR	INTERIOR DECKS	TYPE C GYP BD
	DOOR	STANDARD WOOD OR METAL DOOR	N/A	N/A	N/A	REFER TO DOOR SCHEDULE FOR SIZES & TYPES
	WINDOW	STANDARD ALUMINIUM CLAD WINDOW	N/A	N/A	N/A	REFER TO WINDOW SCHEDULE FOR SIZES & TYPES

## NOTES:

1. REFER TO UL BOOK FOR MORE INFORMATION ON THE WALL ASSEMBLIES.

## TAGGED NOTES

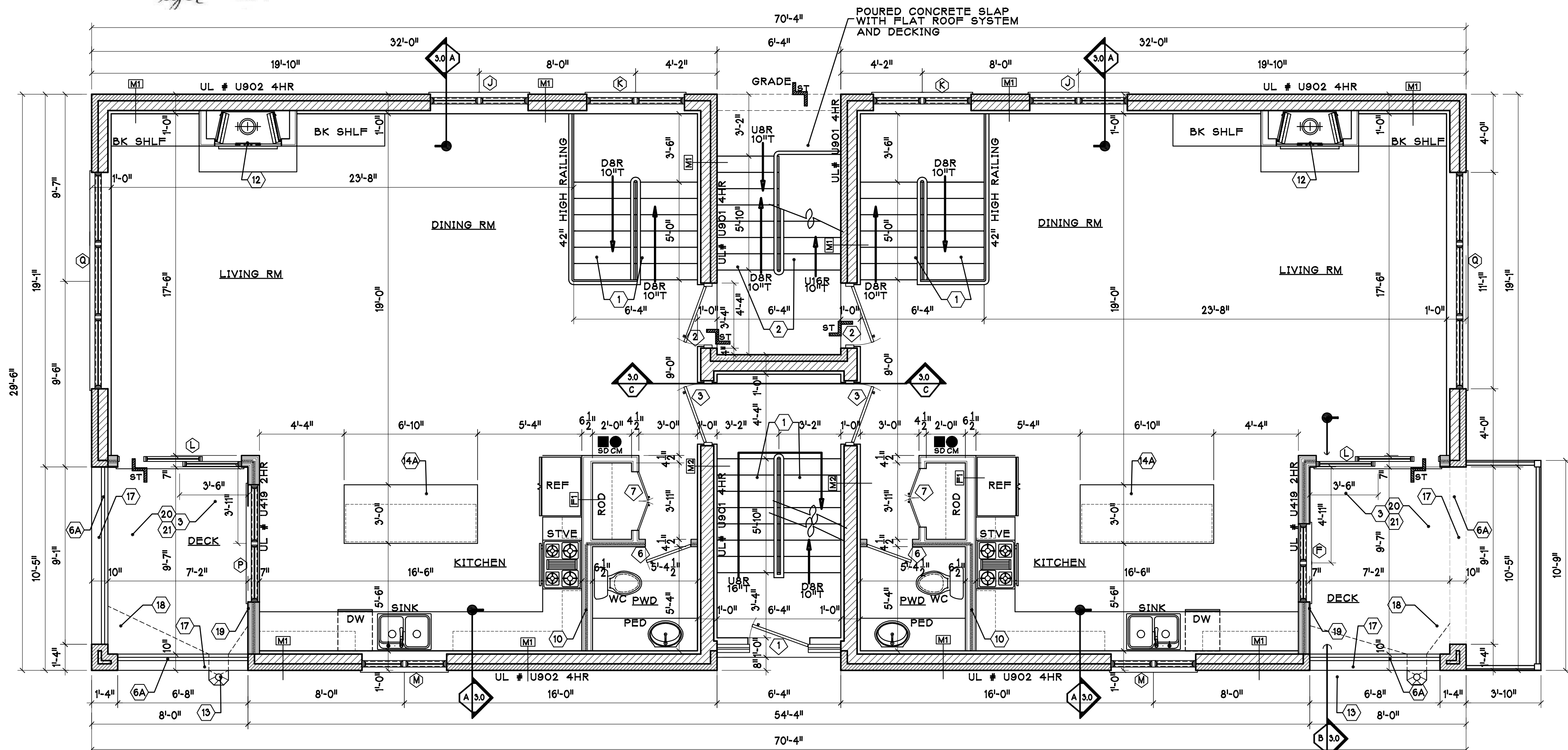
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6	METAL DECK AND LANDING WITH 42" HIGH IRON GUARD RAILING WITH PICKETS AT 4" O.C. ALL RAILING TO RESIST A 200# HORIZ AND 50# VERTICLE APPLIED FORCE. PROVIDE 4X4 POST @ 60" O.C.
6A	42" HIGH METAL GUARD RAILING WITH PICKETS @ 4" O.C.
7	MECHANICAL CONDENSERS LOCATED ON CONCRETE PAD OR LEVELING PAD IF LOCATED ON ROOF.
8	ELECTRICAL EQUIPMENT CONSISTING OF A MAIN DISCONNECT AND HOUSE PANEL TO BE WITHIN 5'-0" OF METERS.
9	SUMP PUMP AND EJECTOR, NOTCH OUT FOOTING AS REQUIRED.
10	SOUND INSULATION TYPICALLY FOUND AROUND BATHROOMS, FURNACE ROOMS AND LAUNDRY ROOMS
11	STORE BOUGHT ACCESS PANEL FOR ACCESS TO JACUZZI PUMP.
12	DIRECT VENT GAS FIREPLACE WITH COMBUSTION AIR KIT, NON COMBUSTIBLE HEARTH AS WELL AS A METAL SPARK ARREST AND A BLUE FLAME GAS IGNITOR.
13	ALUMINIUM SCUPPER AND DOWNSPOUT.
14	GUY GREY BOX FOR WASHER AND DRYER, VERIFY W/ PLUMBER.
14A	12" COUNTER TOP OVERHANG
15	10" DIA. ROOF VENT, TYPICAL.
16	4" STEEL COLUMN. SEE FRAMING
17	4" ALUMN. COPING ATOP MASONRY PARAPET. RAKE & CAULK JOINTS
18	BUILT UP CANT STRIP SLOPE TOWARDS SCUPPERS.
19	FLASH AT ROOF AND WALL INTERSECTION.
20	CLASS "A" RATED SINGLE PLY MODIFIED BITUMEN FLAT ROOFING SYSTEM.
21	5/4" DECKING ATOP WD FLOATERS. FIRE TREATED MATERIAL AND CONFORM TO ASTM-D-83

By

## SELF CERTIFICATION



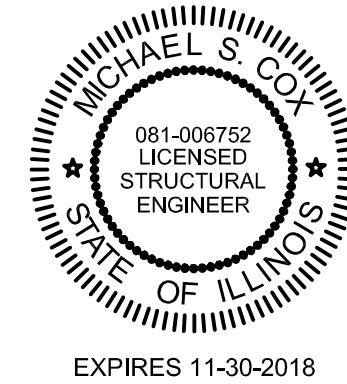
RT-4 - ERECT A NEW (3) STORY (4) D.U.  
BUILDING W/ BASEMENT, ROOFTOP  
STAIRWAY ENCLOSURES, OPEN DECKS, SIDE  
OPEN PORCH, REAR OPEN PORCH, TRASH  
ENCLOSURE, FENCES, AND A DETACHED (4)  
CAR GARAGE W/ ROOF DECK. 11/6/18



## FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

"Fire-retardant-treated wood" means lumber or plywood that has a Class 1 rating when tested in accordance with ASTM E-84, UL 723, or NFPA 255 for a period of 30 minutes and which, at no time during the period of the test, shows evidence of significant progressive combustion or experiences progress of the flame front more than 10 1/2 feet beyond the centerline of burner. Each piece of fire-retardant-treated wood shall be identified at two-foot intervals by a label or a stamp of an approved agency acceptable to the building commissioner and the fire prevention bureau having an inspection service, and further by the marking of a continuous double line between the labels or stamps. Where fire-retardant-treated wood is to be subject to sustained high humidity or exposed to the weather, it shall be further identified to indicate there is no increase in listed fire hazard classification when subjected to "The Standard Rain Test" (ASTM D-2898-81).



EXPIRES 11-30-2018

PERMIT	8/18
No.	Revision/Issue
	Date

## MC &amp; Associates, LLC

120 W. MADISON  
SUITE 310  
CHICAGO, IL 60602

## PROJECT:

ERECT A NEW MASONRY 4 UNIT  
BUILDING W/ BASEMENT

PROJECT #:	DRAWING TITLE:
GP	
DATE:	
7/18	
SCALE:	DRAWING #:
AS NOTED	AR-1.1



## WALL LEGEND

APPEARANCE	TYPE	DESCRIPTION	UL #	HOURLY RATING	LOCATION	REMARKS
	MASONRY	4" BRICK OR JUMBO BRICK WITH 6" CONCRETE BLOCK BACKING WITH DUOWALL @ 16" O.C. AND 2"X 4" FURRING @ 16" O.C. WITH VAPOR BARRIER AND R-17.5 POLY INSULATION COVERED W/ 5/8" INTERIOR GYPSUM BOARD.	U902	4HR	ALL EXTERIOR WALLS	CLASS D-2 CMU
	MASONRY	4" BRICK OR JUMBO BRICK EACH SIDE WITH 4" CONC. BLOCK CENTER. MAINTAIN 5/8" AIR SPACE.	U902	4HR	FRONT DECKS	CLASS D-2 CMU
	MASONRY	8" THRU-WALL BLOCK WITH 2"X 2" FURRING @ 16" O.C. W/ VAPOR BARRIER & R-15 BATT. INSULATION COVERED W/ 5/8" INTERIOR GYPSUM BOARD.	U901	4HR	BETWEEN PUB. STAIR & UNIT	CLASS B-4 CMU
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 1 LAYER OF 1/2" INTERIOR GYP. BD ON EACH SIDE. W/ SOUND OR THERMAL INSULATION	N/A	N/A	INTERIOR WALLS	
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 1 LAYER OF 1/2" INTERIOR GYP. BD ON EACH SIDE.	N/A	N/A	MOST INTERIOR WALLS	
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 2 LAYER OF 5/8" F.C. GYP. BD ON EACH SIDE. WITH SOUND INSULATION.	U301	2HR	NOT USED	TYPE C GYP BD
	MTL FRAME	ALUMINUM SIDING OVER 5.5" METAL STUDS @ 16" O.C., 4 LAYER OF 1/2" F.C. GYP. BD ON EACH SIDE. WITH R-21 FIBERGLASS BATT. INSUL.	U426	3HR	MECH. ACCESS @ STAIR TOP ON ROOF	TYPE C GYP BD
	MTL FRAME	ALUMINUM SIDING OVER 5.5" METAL STUDS @ 16" O.C., 2 LAYER OF 1/2" F.C. GYP. BD ON EACH SIDE. WITH R-21 FIBERGLASS BATT. INSUL.	U419	2HR	INTERIOR DECKS	TYPE C GYP BD
	DOOR	STANDARD WOOD OR METAL DOOR	N/A	N/A	N/A	REFER TO DOOR SCHEDULE FOR SIZES & TYPES
	WINDOW	STANDARD ALUMINIUM CLAD WINDOW	N/A	N/A	N/A	REFER TO WINDOW SCHEDULE FOR SIZES & TYPES

## NOTES:

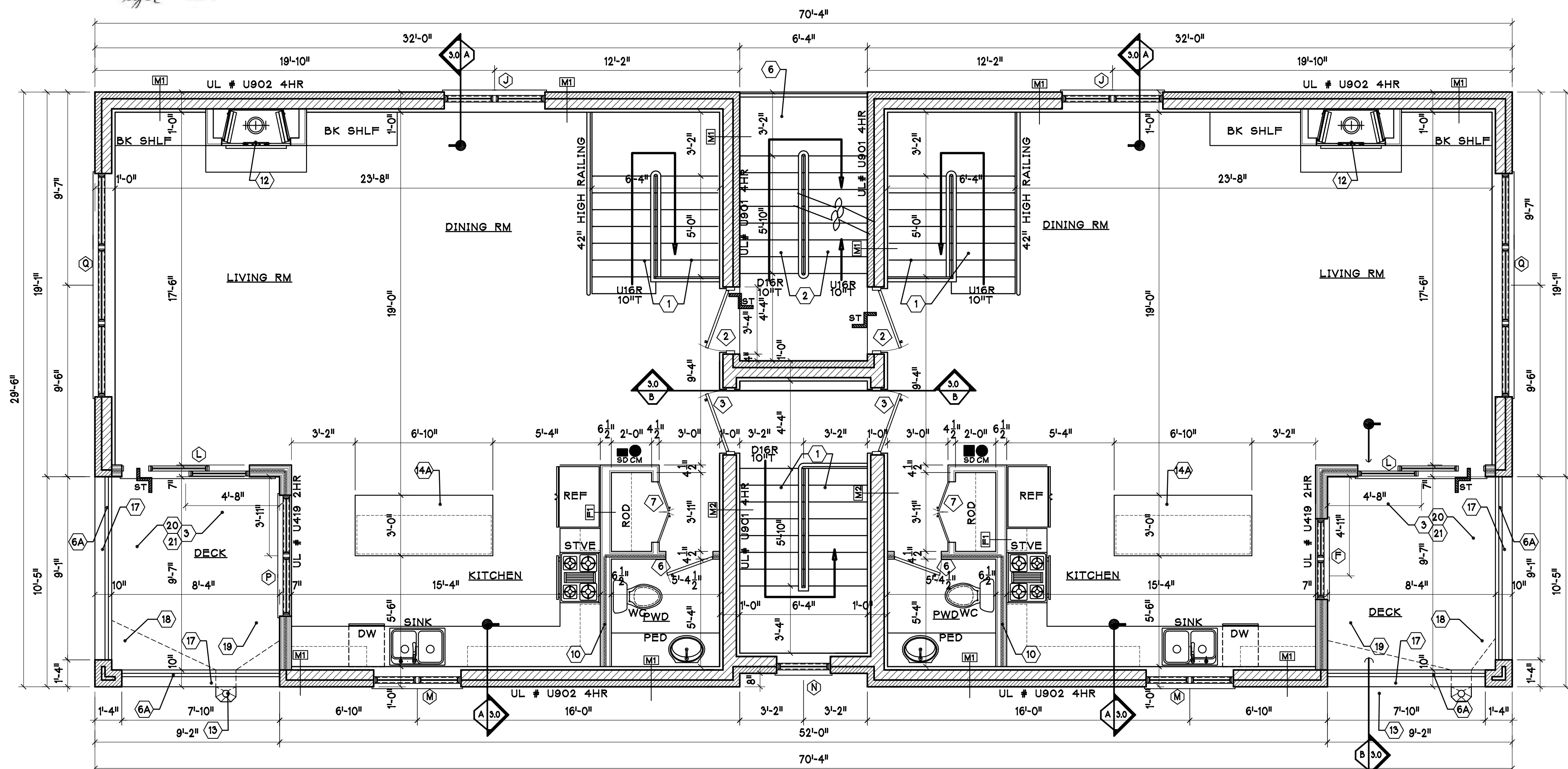
1. REFER TO UL BOOK FOR MORE INFORMATION ON THE WALL ASSEMBLIES.

## TAGGED NOTES

MARK	DESCRIPTION OF ITEM
1	CARPENTER BUILT WOOD STAIRS WITH MAXIMUM 8" RISE AND A 10" TREAD INCLUDING 1" NOSING. STAIR TO HAVE A MIN. 36" HIGH HANDRAIL ON ONE SIDE, AS WELL AS A 42" HIGH GUARD RAILING WHEN A STAIR IS OPEN TO AN ADJACENT FLOOR. DETAIL 3/AR3.0 ALL RAILINGS TO RESIST A 200# APPLIED FORCE HORIZ. AND A 50# APPLIED FORCE VERTICALLY. DET: C/3.1
2	NON COMBUSTIBLE METAL STAIRS WITH MAXIMUM 8" RISE & A 10" TREAD INCLUDING 1" NOSING. STAIR TO HAVE A MIN. 36" HIGH HANDRAIL ON ONE SIDE, AS WELL AS A 42" HIGH GUARD RAILING AT LANDINGS AND OPEN DECKS. ALL RAILINGS ARE TO BE CONSTRUCTED TO WITHSTAND A 200# HORIZONTAL LOAD ALONG ANY PORTION OF THE RAILING. DET: C/3.1
3	DECK TO HAVE A FLAT ROOF SYSTEM. PITCH TOWARDS SCUPPER. APPLY 2 X SLEEPERS ATOP FLAT ROOF. WITH COMPOSITE DECKING MATERIAL ABOVE. PROVIDE FLASHING AND BRING FLASHING UP UNDER STONE COPING.
4	CONCRETE STAIRS TO HAVE A MAXIMUM 8" RISE AND A 10" TREAD. BACK FILL WITH PROPER STONE TO PREVENT ANY FUTURE CRACKS. STAIRS TO HAVE 36" HAND RAIL ON EACH SIDE. ALSO STEPS TO HAVE A LIMESTONE CAP VENEER.
5	42" HIGH MASONRY PARAPET WALL WITH COPING.
6	METAL DECK AND LANDING WITH 42" HIGH IRON GUARD RAILING WITH PICKETS AT 4" O.C. ALL RAILING TO RESIST A 200# HORIZ. AND 50# VERTICLE APPLIED FORCE. PROVIDE 4X4 POST @ 60" O.C.
6A	42" HIGH METAL GUARD RAILING WITH PICKETS @ 4" O.C.
7	MECHANICAL CONDENSERS LOCATED ON CONCRETE PAD OR LEVELING PAD IF LOCATED ON ROOF.
8	ELECTRICAL EQUIPMENT CONSISTING OF A MAIN DISCONNECT AND HOUSE PANEL. TO BE WITHIN 5'-0" OF METERS.
9	SUMP PUMP AND EJECTOR, NOTCH OUT FOOTING AS REQUIRED.
10	SOUND INSULATION TYPICALLY FOUND AROUND BATHROOMS, FURNACE ROOMS AND LAUNDRY ROOMS
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14A	12" COUNTER TOP OVERHANG
15	10" DIA. ROOF VENT, TYPICAL.
16	4" STEEL COLUMN. SEE FRAMING
17	4" ALUMN. COPING ATOP MASONRY PARAPET. RAKE & CAULK JOINTS
18	BUILT UP CANT STRIP SLOPE TOWARDS SCUPPERS.
19	FLASH AT ROOF AND WALL INTERSECTION.
20	CLASS "A" RATED SINGLE PLY MODIFIED BITUMEN FLAT ROOFING SYSTEM.
21	5/4" DECKING ATOP WD FLOATERS. FIRE TREATED MATERIAL AND CONFORM TO ASTM-D-83



RT-4 - ERECT A NEW (3) STORY (4) D.U. BUILDING W/ BASEMENT, ROOFTOP STAIRWAY ENCLOSURES, OPEN DECKS, SIDE OPEN PORCH, REAR OPEN PORCH, TRASH ENCLOSURE, FENCES, AND A DETACHED (4) CAR GARAGE W/ ROOF DECK. 11/6/18



## 3 SECOND FLOOR PLAN

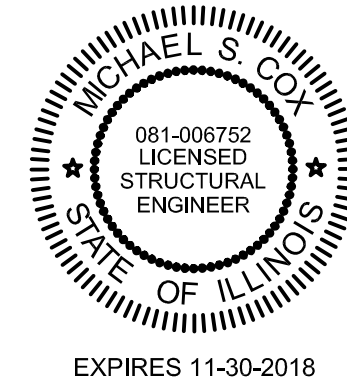
SCALE: 1/4"=1'-0"



<sup>1</sup> Fire-retardant-treated wood" means lumber or plywood that has a Class 1 rating when tested in accordance with ASTM E-84, UL 723, or NFPA 255 for a period of 30 minutes and which, at no time during the period of the test, shows evidence of significant progressive combustion or experiences progress of the flame front more than 10 1/2 feet beyond the centerline line of burner. Each piece of fire-retardant-treated wood shall be identified at two-foot intervals by a label or a stamp of an approved agency acceptable to the building commissioner and the fire prevention bureau having an inspection service, and further by the marking of a continuous double line between the labels or stamps. Where fire-retardant-treated wood is to be subject to sustained high humidity or exposed to the weather, it shall be further identified to indicate there is no increase in listed fire hazard classification when subjected to "The Standard Rain Test" (ASTM D-2898-81).

By

**SELF CERTIFICATION**



	PERMIT	8/18
No.	Revision/Issue	Date

MC & Associates, LLC

120 W. MADISON  
SUITE 310  
CHICAGO, IL 60602

PROJECT:

ERECT A NEW MASONRY 4 UNIT BUILDING W/ BASEMENT

PROJECT #:	DRAWING TITLE:
GP	
DATE:	
7/18	DRAWING #:
SCALE:	AR-1.2
AS NOTED	



## WALL LEGEND

APPEARANCE	TYPE	DESCRIPTION	UL #	HOURLY RATING	LOCATION	REMARKS
	MASONRY	4" BRICK OR JUMBO BRICK WITH 6" CONCRETE BLOCK BACKING WITH DUOWALL @ 16" O.C. AND 2"X 4" FURRING @ 16" O.C. WITH VAPOR BARRIER AND R-17.5 BATT INSULATION COVERED W/ 5/8" INTERIOR GYPSUM BOARD.	U902	4HR	ALL EXTERIOR WALLS	CLASS D-2 CMU
	MASONRY	4" BRICK OR JUMBO BRICK EACH SIDE WITH 4" CONC. BLOCK CENTER, MAINTAIN 5/8" AIR SPACE.	U902	4HR	FRONT DECKS	CLASS D-2 CMU
	MASONRY	8" THRU-WALL BLOCK WITH 2"X 2" FURRING @ 16" O.C. W/ VAPOR BARRIER & R-15 BATT. INSULATION COVERED W/ 5/8" INTERIOR GYPSUM BOARD.	U901	4HR	BETWEEN PUB. STAIR & UNIT	CLASS B-4 CMU
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 1 LAYER OF 1/2" INTERIOR GYP. BD ON EACH SIDE, W/ SOUND OR THERMAL INSULATION	N/A	N/A	INTERIOR WALLS	
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 1 LAYER OF 1/2" INTERIOR GYP. BD ON EACH SIDE.	N/A	N/A	MOST INTERIOR WALLS	
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 2 LAYER OF 5/8" F.C. GYP. BD ON EACH SIDE, WITH SOUND INSULATION.	U301	2HR	NOT USED	TYPE C GYP BD
	MTL FRAME	ALUMINUM SIDING OVER 5.5" METAL STUDS @ 16" O.C., 4 LAYER OF 1/2" F.C. GYP. BD ON EACH SIDE, WITH R-21 FIBERGLASS BATT. INSUL.	U426	3HR	MECH. ACCESS @ STAIR TOP ON ROOF	TYPE C GYP BD
	MTL FRAME	ALUMINUM SIDING OVER 5.5" METAL STUDS @ 16" O.C., 2 LAYER OF 1/2" F.C. GYP. BD ON EACH SIDE, WITH R-21 FIBERGLASS BATT. INSUL.	U419	2HR	INTERIOR DECKS	TYPE C GYP BD
	DOOR	STANDARD WOOD OR METAL DOOR	N/A	N/A	N/A	REFER TO DOOR SCHEDULE FOR SIZES & TYPES
	WINDOW	STANDARD ALUMINIUM CLAD WINDOW	N/A	N/A	N/A	REFER TO WINDOW SCHEDULE FOR SIZES & TYPES

## NOTES:

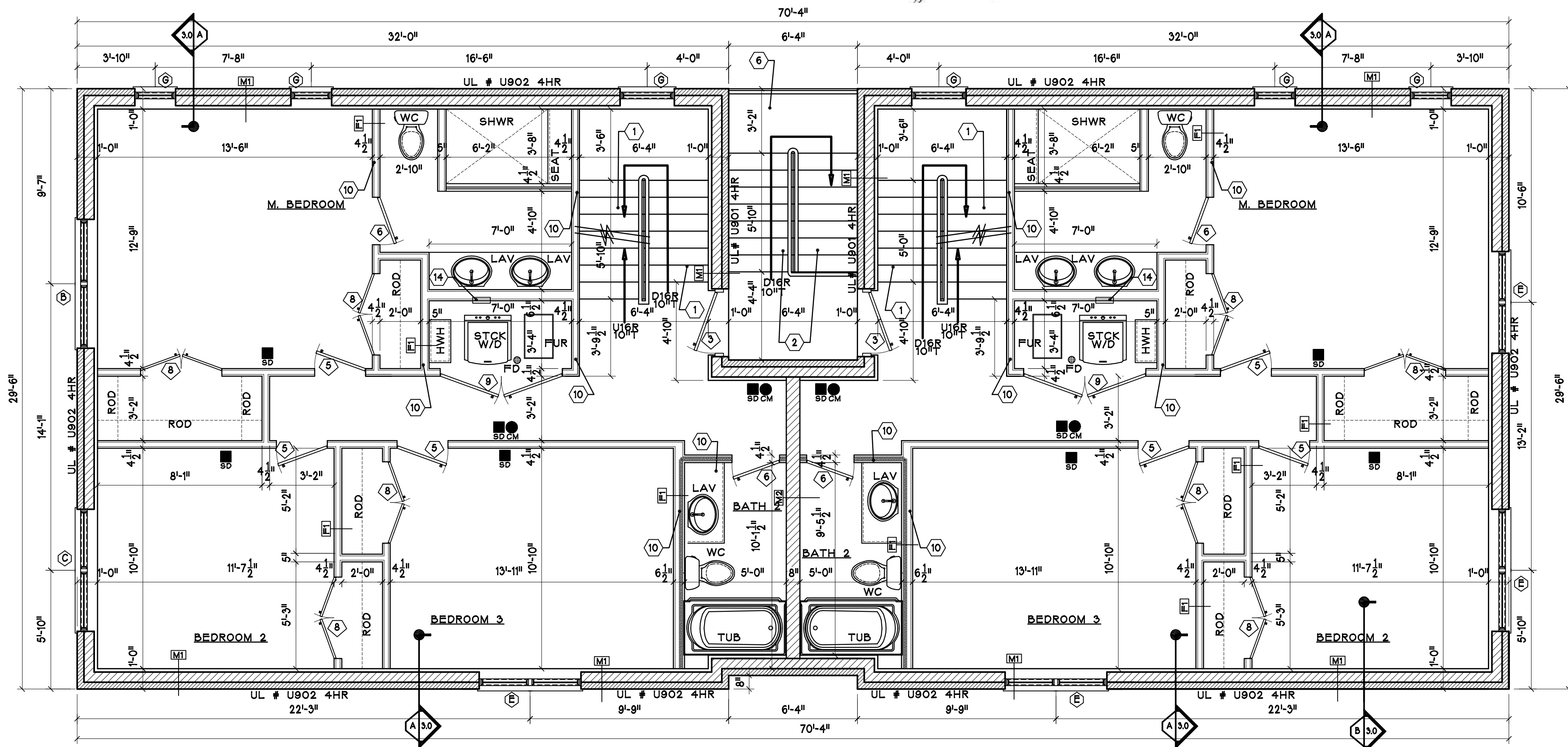
1. REFER TO UL BOOK FOR MORE INFORMATION ON THE WALL ASSEMBLIES.

## TAGGED NOTES

MARK	DESCRIPTION OF ITEM
1	CARPENTER BUILT WOOD STAIRS WITH MAXIMUM 8" RISE AND A 10" TREAD INCLUDING 1" NOSING. STAIR TO HAVE A MIN. 36" HIGH HANDRAIL ON ONE SIDE, AS WELL AS A 42" HIGH GUARD RAILING WHEN A STAIR IS OPEN TO AN ADJACENT FLOOR. DETAIL 3/AR3.5 ALL RAILINGS TO RESIST A 200# APPLIED FORCE HORIZ. AND A 50# APPLIED FORCE VERTICALLY. DET: 1/3.1
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19	FLASH AT ROOF AND WALL INTERSECTION.
20	CLASS "A" RATED SINGLE PLY MODIFIED BITUMEN FLAT ROOFING SYSTEM.
21	5/4" DECKING ATOP WD FLOATERS. FIRE TREATED MATERIAL AND CONFORM TO ASTM-D-83



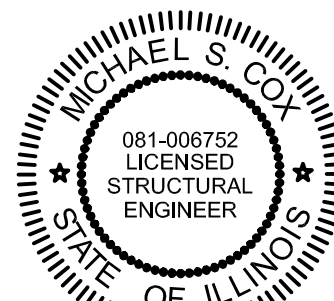
RT-4 - ERECT A NEW (3) STORY (4) D.U. BUILDING W/ BASEMENT, ROOFTOP STAIRWAY ENCLOSURES, OPEN DECKS, SIDE OPEN PORCH, REAR OPEN PORCH, TRASH ENCLOSURE, FENCES, AND A DETACHED (4) CAR GARAGE W/ ROOF DECK. 11/6/18



4 THIRD FLOOR PLAN

SCALE: 1/4"=1'-0"

By   
**SELF CERTIFICATION**



	PERMIT	8/18
No.	Revision/Issue	Date

MC & Associates, LLC

120 W. MADISON  
SUITE 310  
CHICAGO, IL 60602

PROJECT:

ERECT A NEW MASONRY 4 UNIT BUILDING W/ BASEMENT

PROJECT #:	DRAWING TITLE:
GP	
DATE:	
7/18	DRAWING #:
SCALE:	
AS NOTED	AR-1.3



WALL LEGEND

APPEARANCE	TYPE	DESCRIPTION	UL #	HOURLY RATING	LOCATION	REMARKS
	MASONRY	4" BRICK OR JUMBO BRICK WITH 6" CONCRETE BLOCK BACKING WITH DUROWALL @ 16" O.C. AND 2"X 4" FURRING @ 16" O.C. WITH VAPOR BARRIER AND R-17.5 BATT. INSULATION COVERED W/ 5/8" INTERIOR GYPSUM BOARD.	U902	4HR	ALL EXTERIOR WALLS	CLASS D-2 CMU
	MASONRY	4" BRICK OR JUMBO BRICK EACH SIDE WITH 4" CONC. BLOCK CENTER. MAINTAIN 5/8" AIR SPACE.	U902	4HR	FRONT DECKS	CLASS D-2 CMU
	MASONRY	8" THRU-WALL BLOCK WITH 2"X 2" FURRING @ 16" O.C. W/ VAPOR BARRIER & R-15 BATT. INSULATION COVERED W/ 5/8" INTERIOR GYPSUM BOARD.	U901	4HR	BETWEEN PUB. STAIR & UNIT	CLASS B-4 CMU
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 1 LAYER OF 1/2" INTERIOR GYP. BD ON EACH SIDE. W/ SOUND OR THERMAL INSULATION	N/A	N/A	INTERIOR WALLS	
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 1 LAYER OF 1/2" INTERIOR GYP. BD ON EACH SIDE.	N/A	N/A	MOST INTERIOR WALLS	
	FRAME	2"X 4" FRAME INTERIOR PARTITION, W/ STUDS @ 16" O.C., 2 LAYER OF 5/8" F.C. GYP. BD ON EACH SIDE. WITH SOUND INSULATION.	U301	2HR	NOT USED	TYPE C GYP BD
	MTL FRAME	ALUMINUM SIDING OVER 5.5" METAL STUDS @ 16" O.C., 4 LAYER OF 1/2" F.C. GYP. BD ON EACH SIDE. WITH R-21 FIBERGLASS BATT. INSUL.	U426	3HR	MECH. ACCESS @ STAIR TOP ON ROOF	TYPE C GYP BD
	MTL FRAME	ALUMINUM SIDING OVER 5.5" METAL STUDS @ 16" O.C., 2 LAYER OF 1/2" F.C. GYP. BD ON EACH SIDE. WITH R-21 FIBERGLASS BATT. INSUL.	U419	2HR	INTERIOR DECKS	TYPE C GYP BD
	DOOR	STANDARD WOOD OR METAL DOOR	N/A	N/A	N/A	REFER TO DOOR SCHEDULE FOR SIZES & TYPES
	WINDOW	STANDARD ALUMINIUM CLAD WINDOW	N/A	N/A	N/A	REFER TO WINDOW SCHEDULE FOR SIZES & TYPES

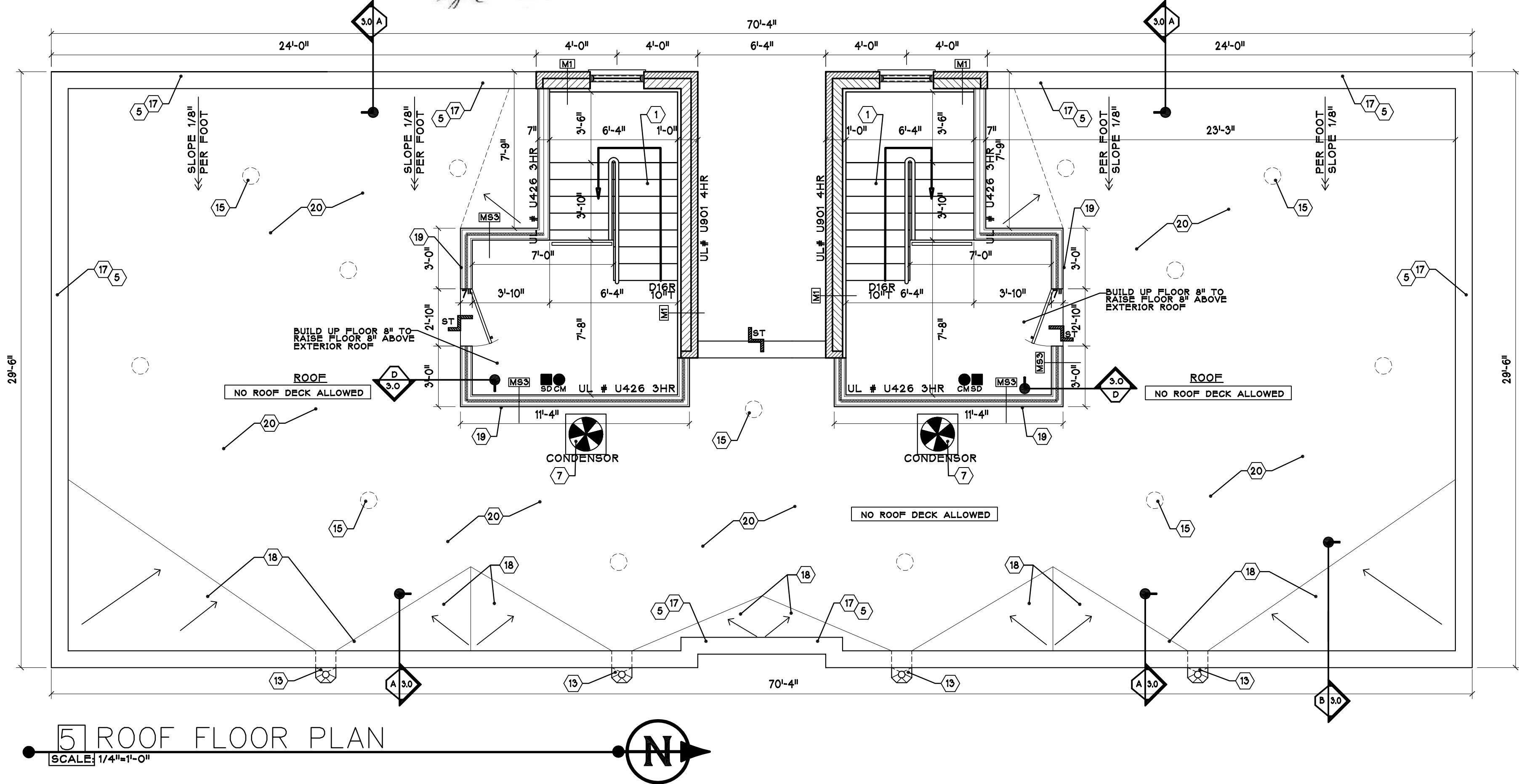
NOTES:  
1. REFER TO UL BOOK FOR MORE INFORMATION ON THE WALL ASSEMBLIES.

TAGGED NOTES

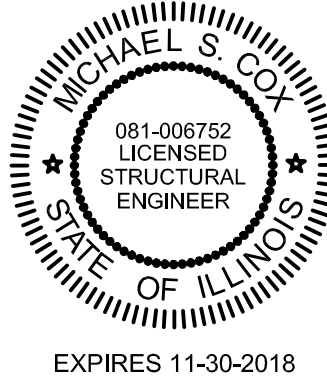
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RT-4 - ERECT A NEW (3) STORY (4) D.U. BUILDING W/ BASEMENT, ROOFTOP STAIRWAY ENCLOSURES, OPEN DECKS, SIDE OPEN PORCH, REAR OPEN PORCH, TRASH ENCLOSURE, FENCES, AND A DETACHED (4) CAR GARAGE W/ ROOF DECK. 11/6/18



By *[Signature]*  
**SELF CERTIFICATION**



	PERMIT	8/18
No.	Revision/Issue	Date

MC & Associates, LLC

120 W. MADISON  
SUITE 310  
CHICAGO, IL 60602

PROJECT:  
  
ERECT A NEW MASONRY 4 UNIT BUILDING W/ BASEMENT

PROJECT #:	DRAWING TITLE:
GP	
DATE:	DRAWING #:
7/18	AR-1.4
SCALE:	
AS NOTED	



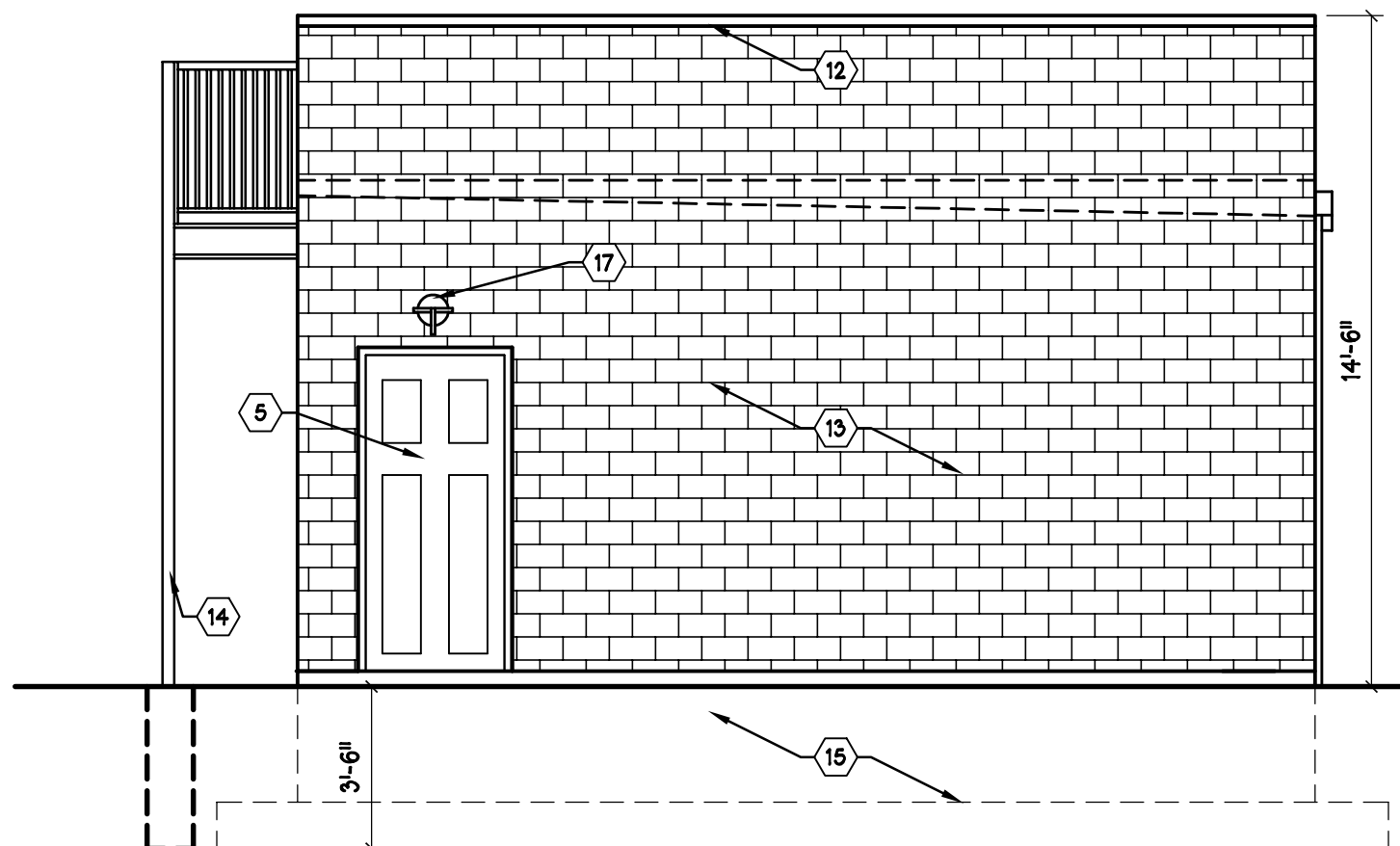
TAGGED NOTES

MARK	DESCRIPTION OF ITEM
1	DEPRESS CONCRETE WALL 8" FOR DOOR.
2	48" X 48" X 12" CONCRETE PAD W/ 4 #4 E.W. FOR COLUMN. FOR COLUMN, DOWN TO 42" BELOW GRADE.
3	PROPERTY LINE FOOTING, SEE SECTION.
4	CONCRETE FOUNDATION WALL.
5	3'-0" X 6'-8" STEEL INSULATED DOOR.
6	4"x4"x1/4" TUBULAR STEEL COLUMN, COLUMN TO BE FIRE TROL W/ 8"x8"x1/2" T&B, CONNECT TO FOUNDATION WITH (4) 3/4" ANCHOR BOLTS.
7	ALUMINIUM DOWN SPOUT.
8	EDGE OF DECKING, 42" HIGH GUARD RAILING, TO RESIST A 200# HORIZONTAL LOAD ALONG ANY PORTION OF THE RAILINGS. ALL VERTICAL MEMBERS OF THE RAILING TO HAVE A MAXIMUM SPACING OF 4" BETWEEN EACH OTHER.
9	5/4" CEDAR DECKING, VERIFY MATERIAL W/ OWNER.
10	ALUMINIUM SCUPPER WITH DOWNSPOUT.
11	BUILT UP CRICKET, SLOPE 1/8" PER 12"
12	EXTRUDED ALUMINIUM COPING
13	CONCRETE BLOCK WALL
14	4"x4" TUBULAR STEEL COLUMN, WITH 42" DEEP CONCRETE PIER AND FOOTING, FOR STEEL WALKWAY CONNECTING THE MTL STAIR TO ROOF DECK.
15	FOOTING AND FOUND. WALL, MIN. 42" BELOW GRADE.
16	7'-0" X 16'-0" INSULATED ALUMINIUM GARAGE DOOR. W/ GARAGE DOOR OPENER, PROVIDE 150. FT. OF FRESH AIR VENT PER CAR.
17	PROVIDE JUNCTION BOX FOR LIGHT FIXTURE.
18	18"X 6" FRESH AIR VENT. 3 REQUIRED.
19	METAL WALKWAY CONNECT TO STAIRS, V.I.F.

WALL LEGEND

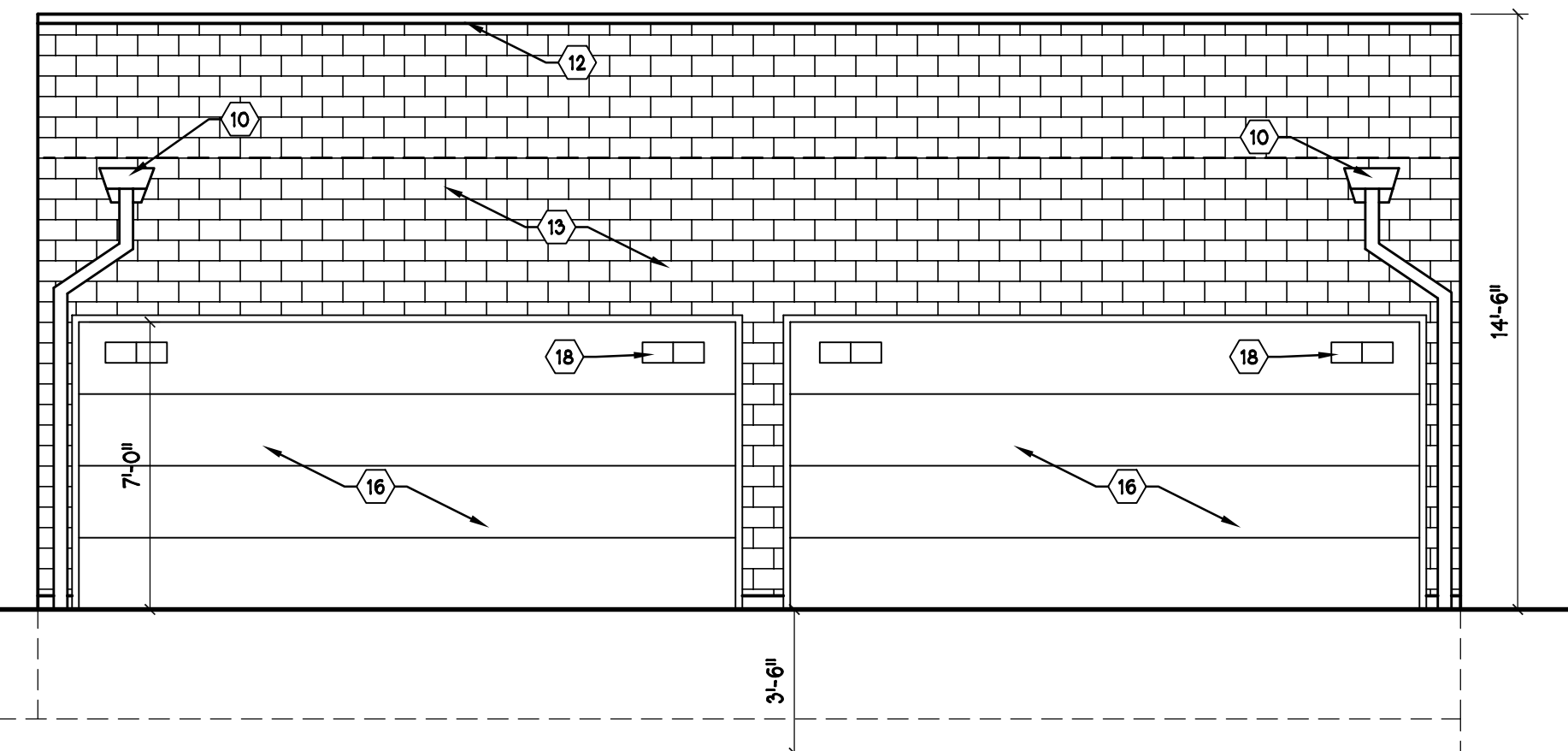


6" CMU WALL WITH ALUMINIUM COPING



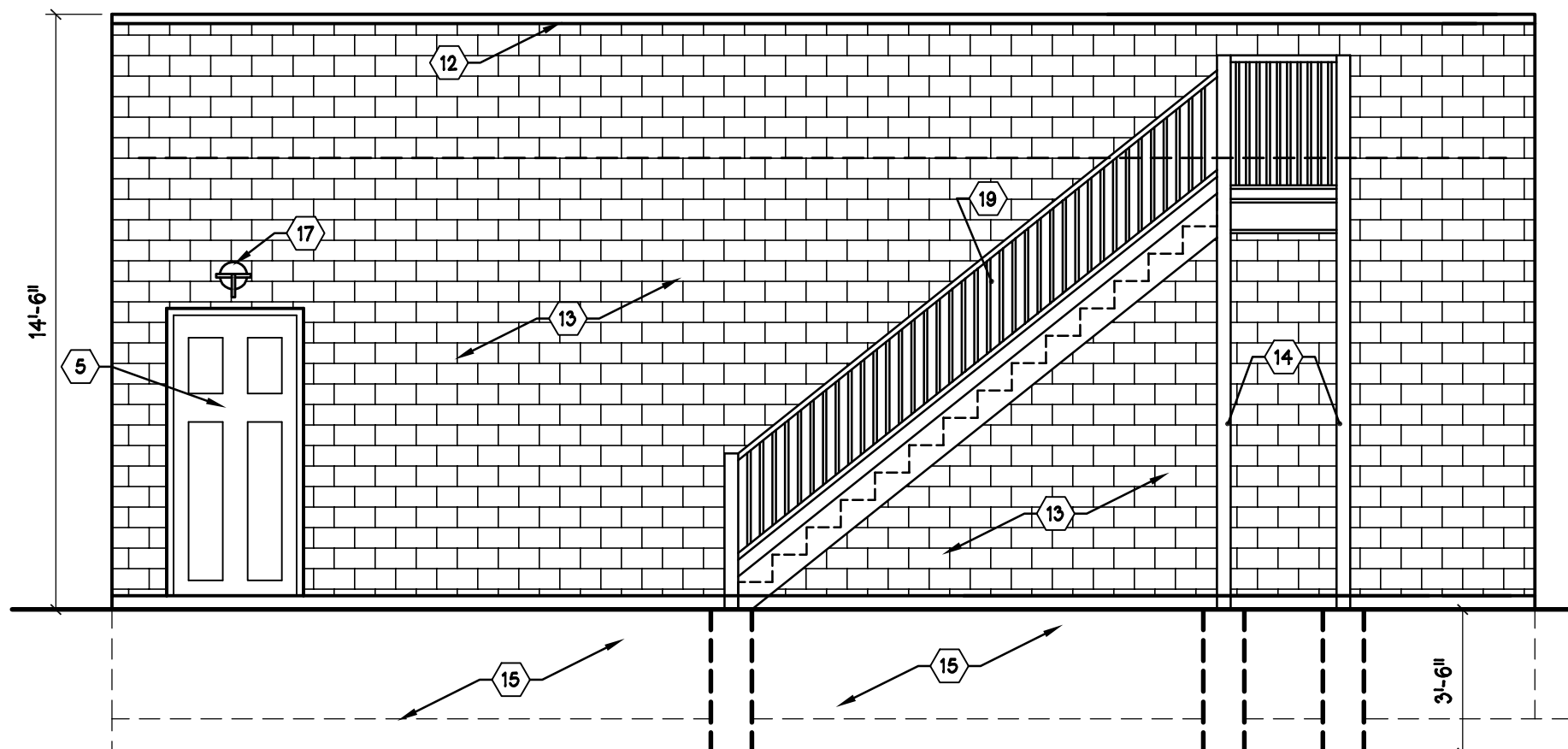
A RIGHT SIDE ELEVATION

SCALE: 1/4"= 1'-0"



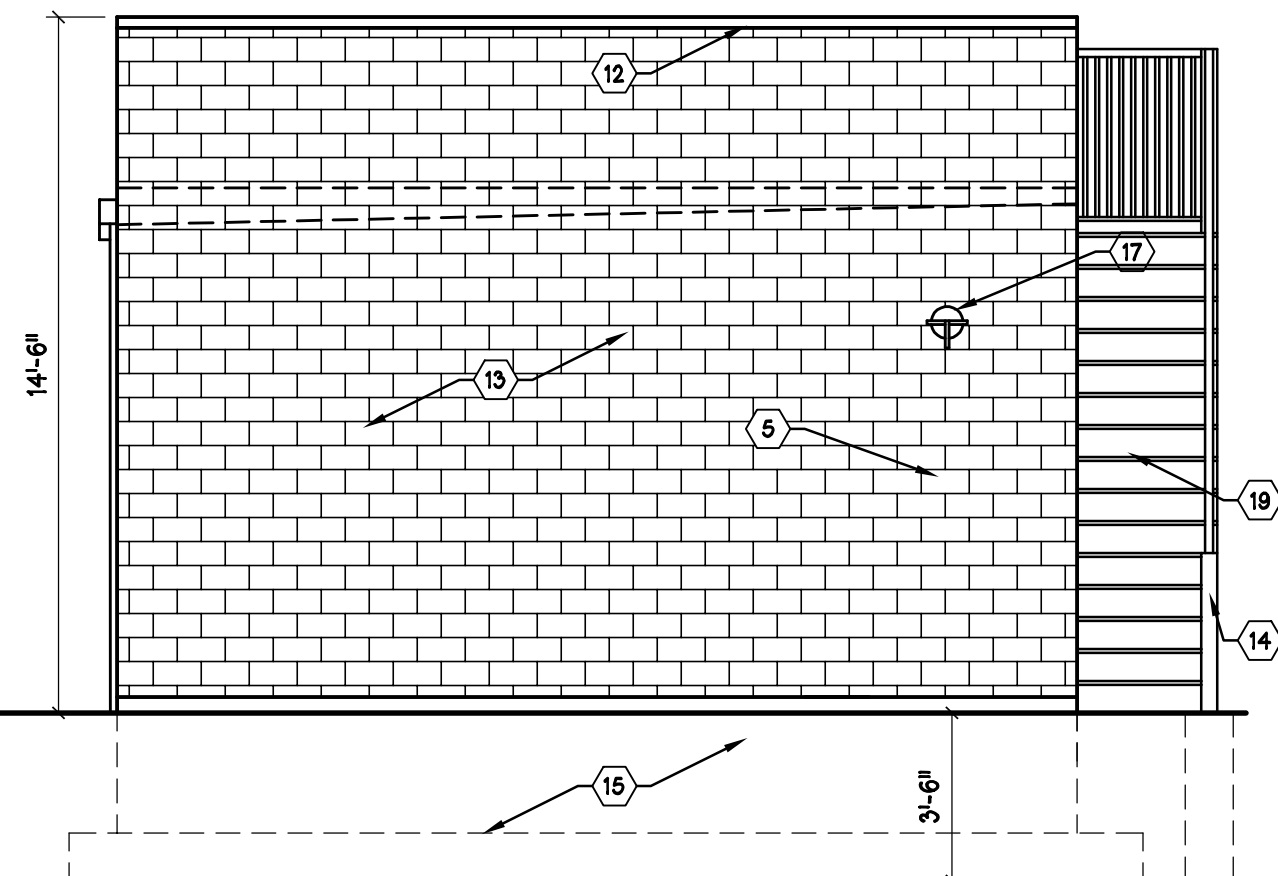
B REAR SIDE ELEVATION

SCALE: 1/4"= 1'-0"



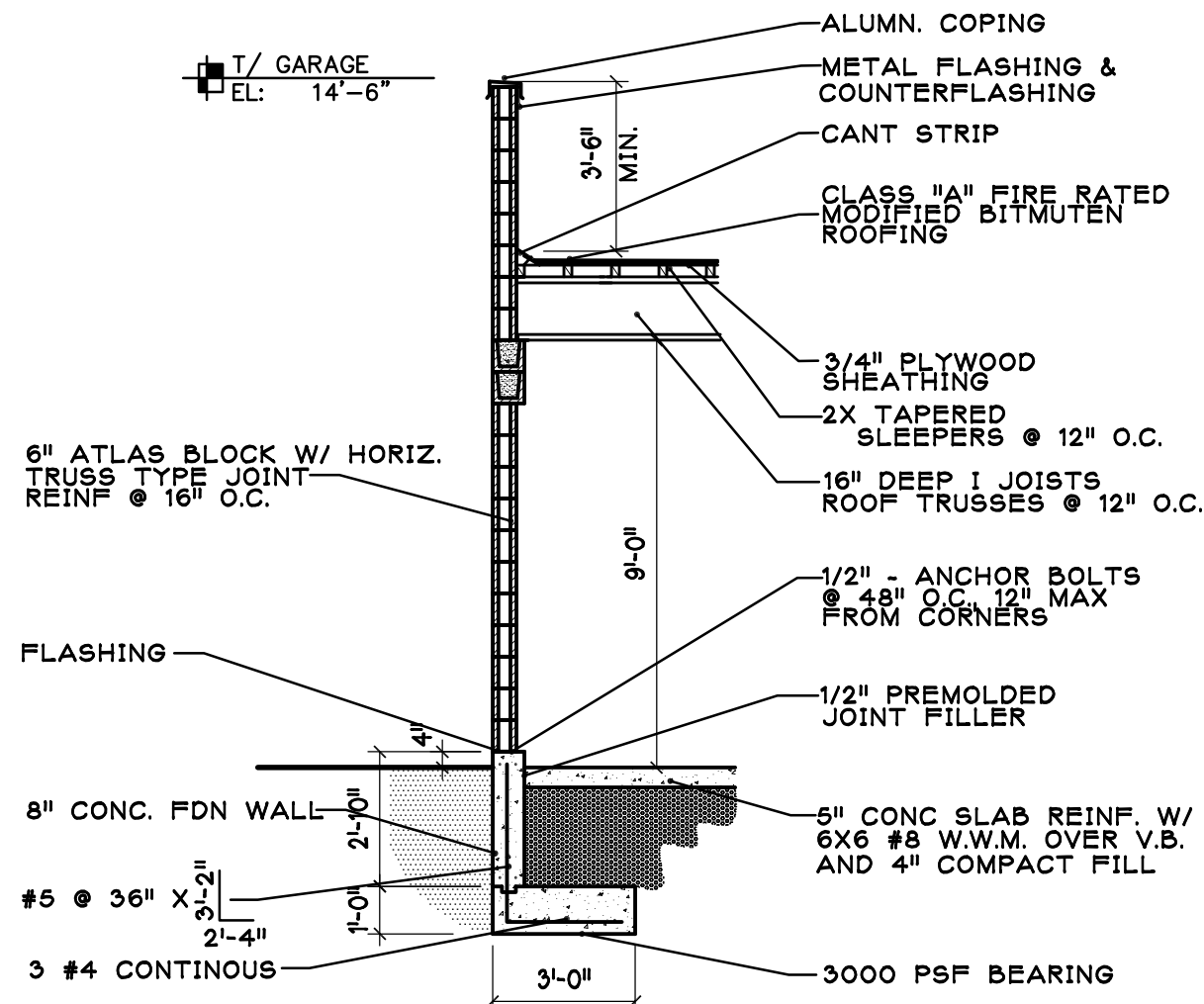
C FRONT SIDE ELEVATION

SCALE: 1/4"= 1'-0"



D LEFT SIDE ELEVATION

SCALE: 1/4"= 1'-0"

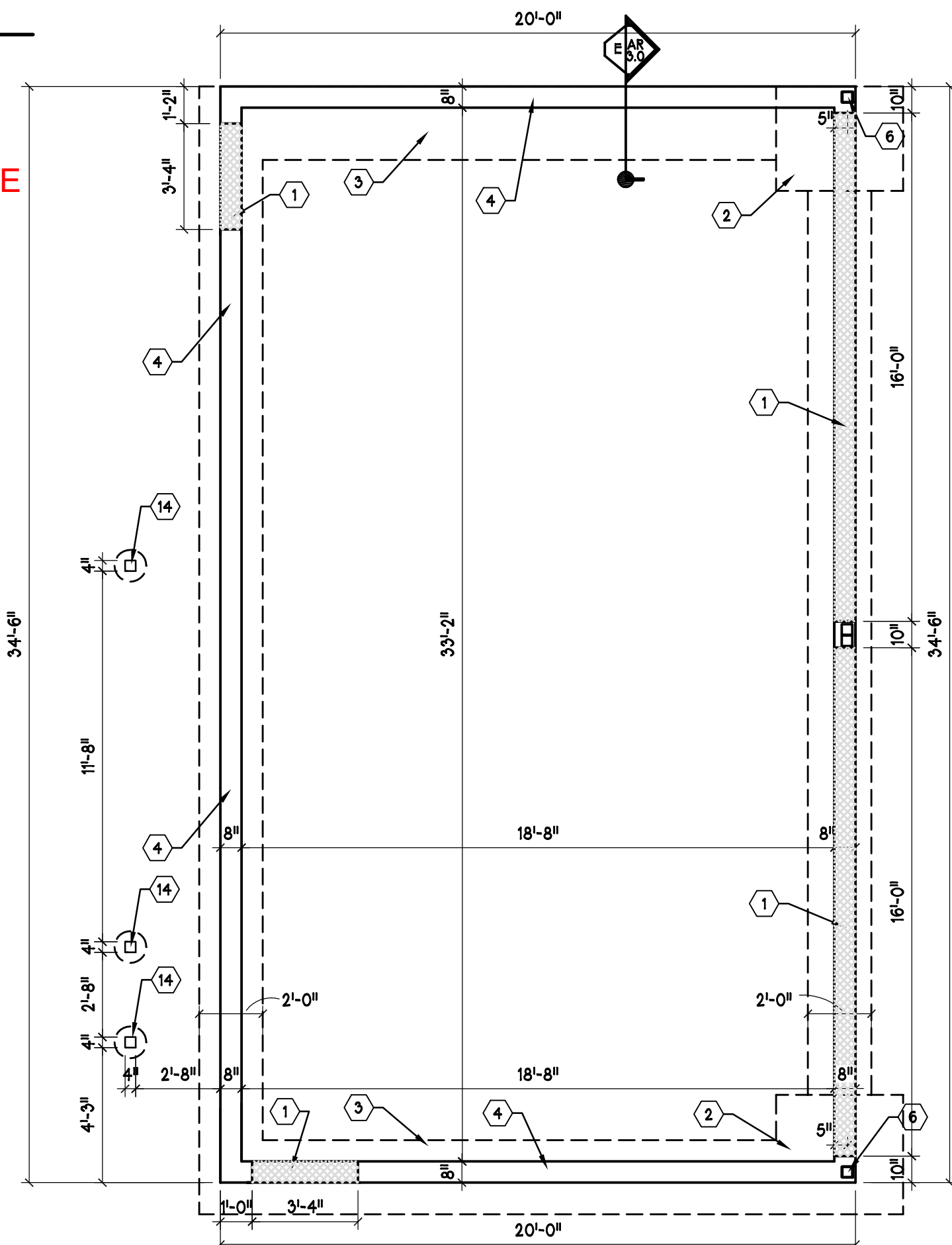


E WALL SECTION

SCALE: 1/4"= 1'-0"

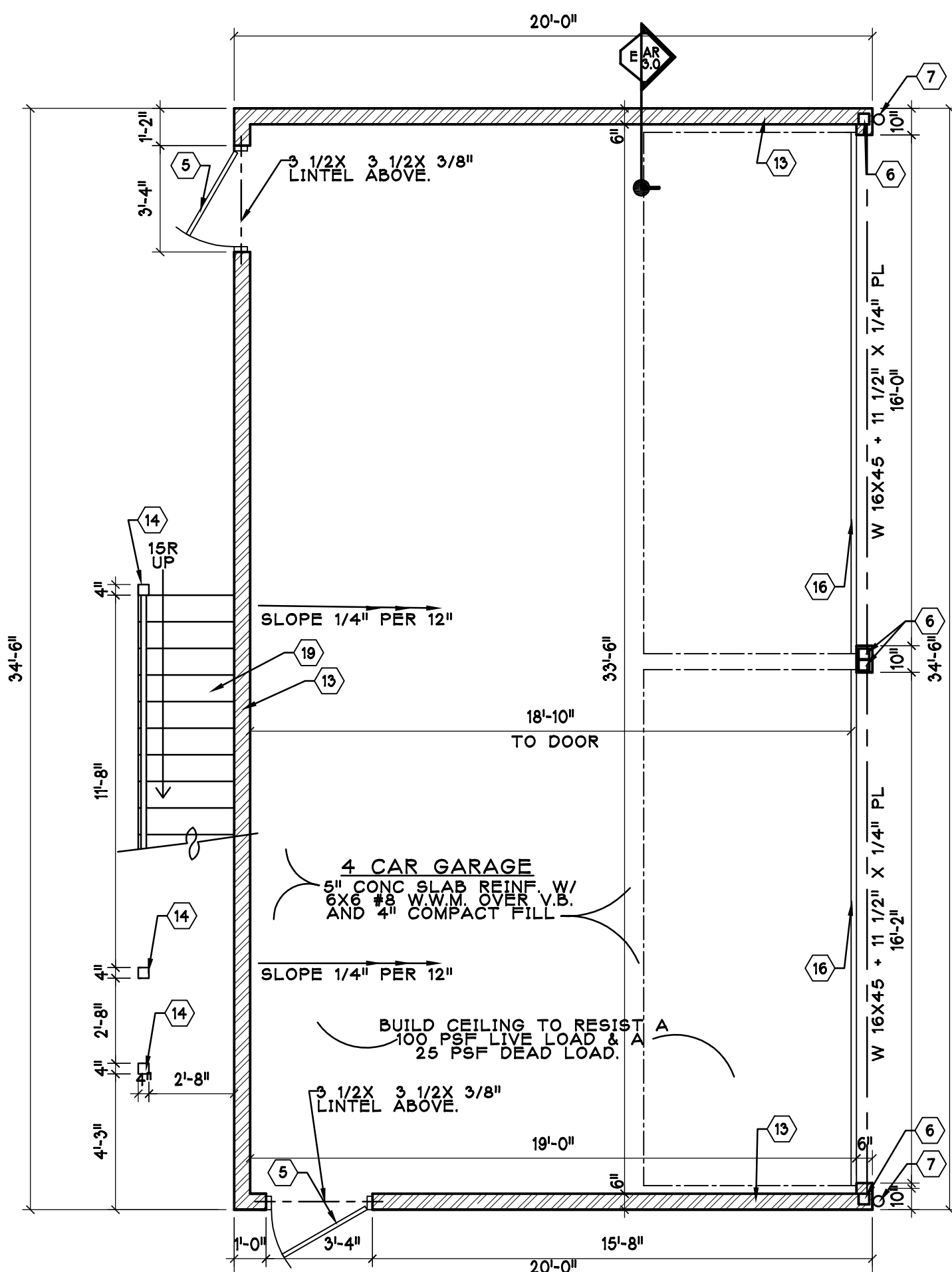
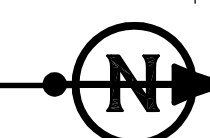


RT-4 - ERECT A NEW (3) STORY (4) D.U. BUILDING W/ BASEMENT, ROOFTOP STAIRWAY ENCLOSURES, OPEN DECKS, SIDE OPEN PORCH, REAR OPEN PORCH, TRASH ENCLOSURE, FENCES, AND A DETACHED (4) CAR GARAGE W/ ROOF DECK. 11/6/18



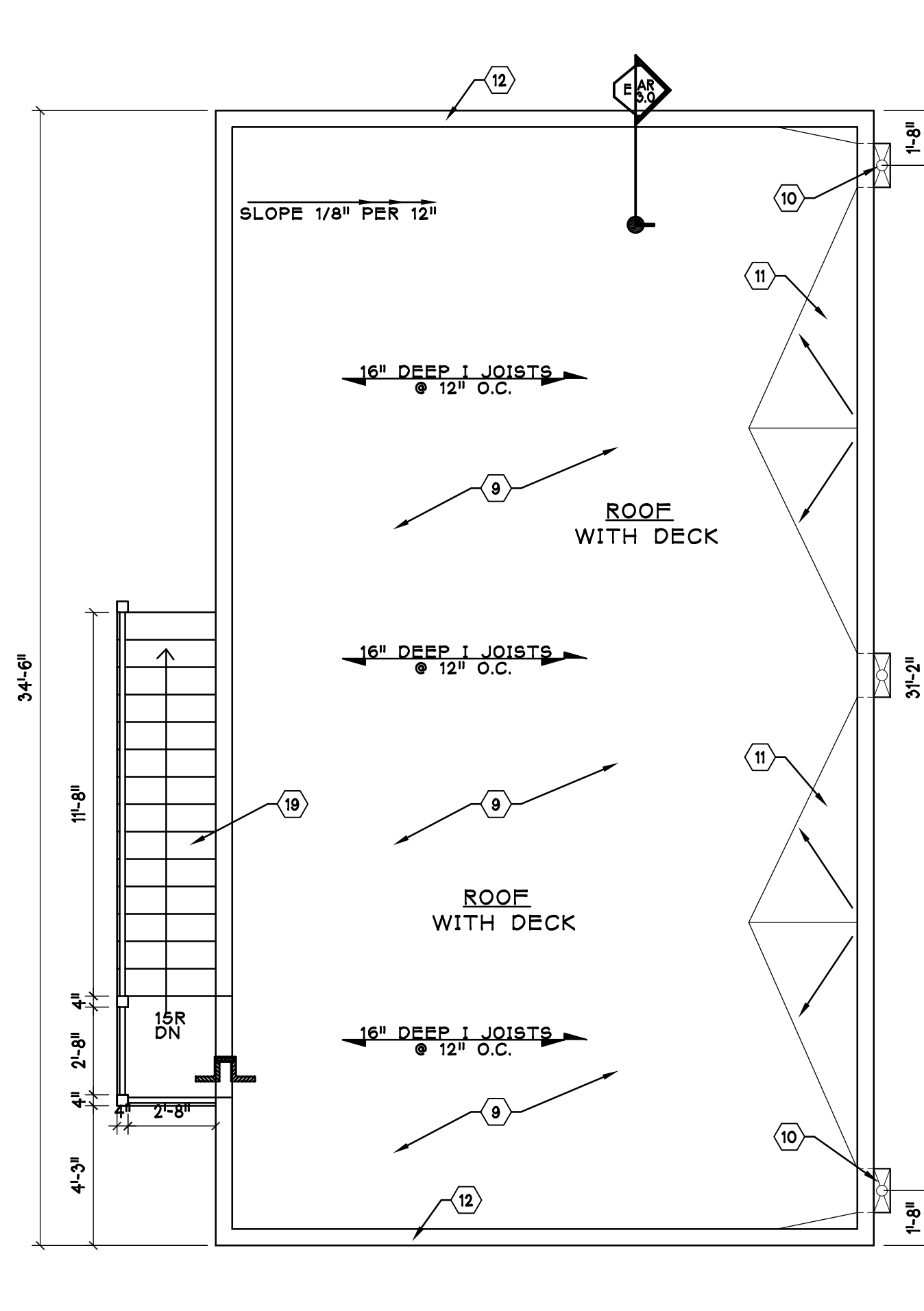
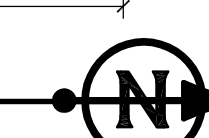
1 FOUNDATION PLAN

SCALE: 1/4"= 1'-0"



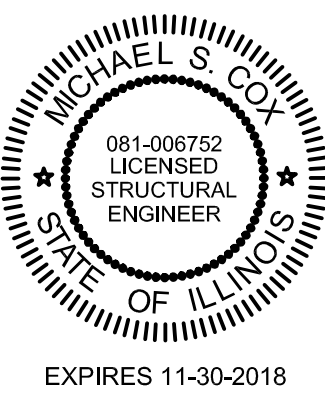
2 GROUND LEVEL PLAN

SCALE: 1/4"= 1'-0"



3 ROOF LEVEL PLAN

SCALE: 1/4"= 1'-0"



	PERMIT	8/18
No.	Revision/Issue	Date

MC & Associates, LLC

120 W. MADISON  
SUITE 310  
CHICAGO, IL 60602

PROJECT:  
  
ERECT A NEW MASONRY 4 UNIT  
BUILDING W/ BASEMENT

PROJECT #:	DRAWING TITLE:
GP	
DATE:	DRAWING #:
7/18	AR-3.1
SCALE:	
AS NOTED	