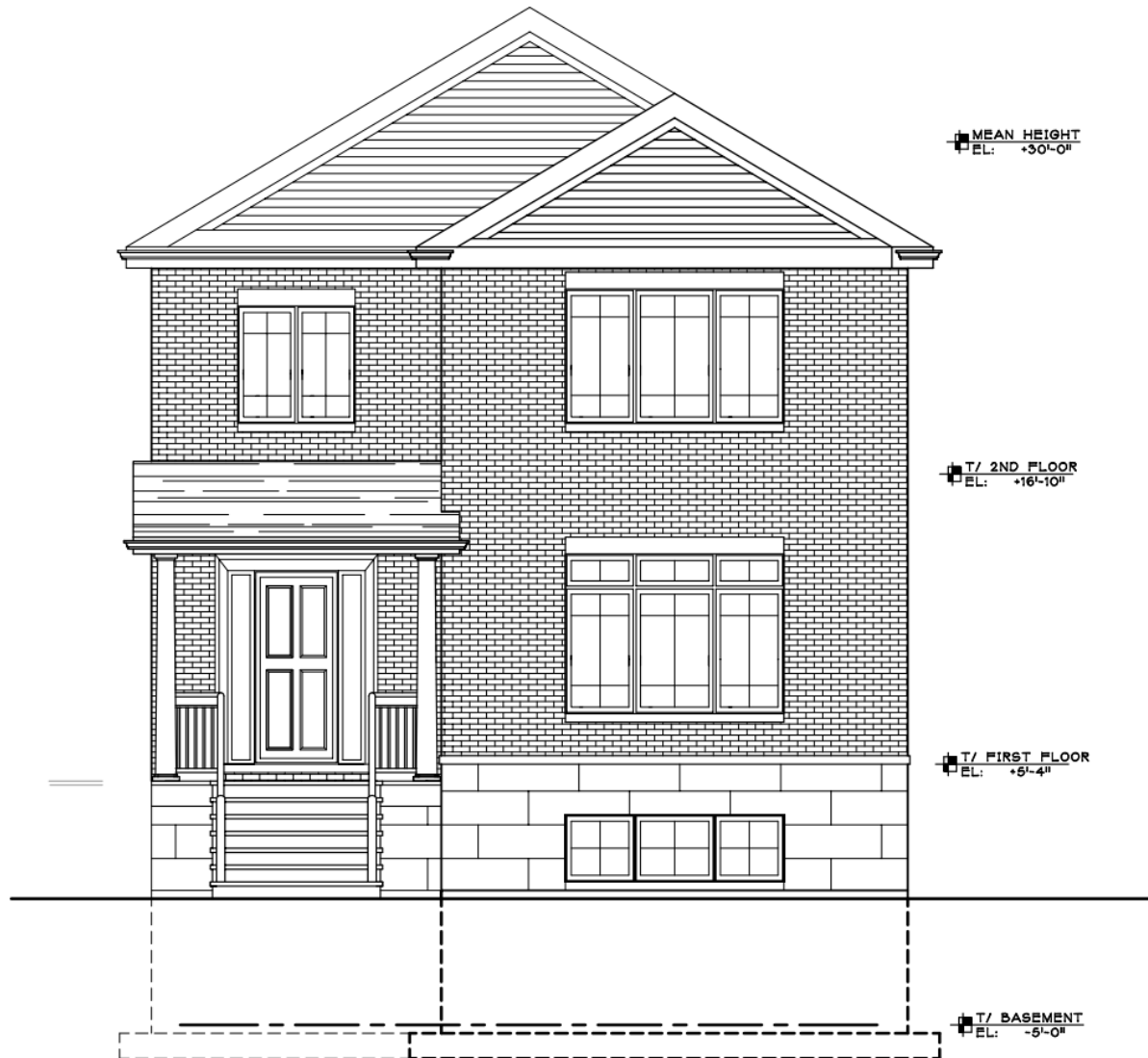


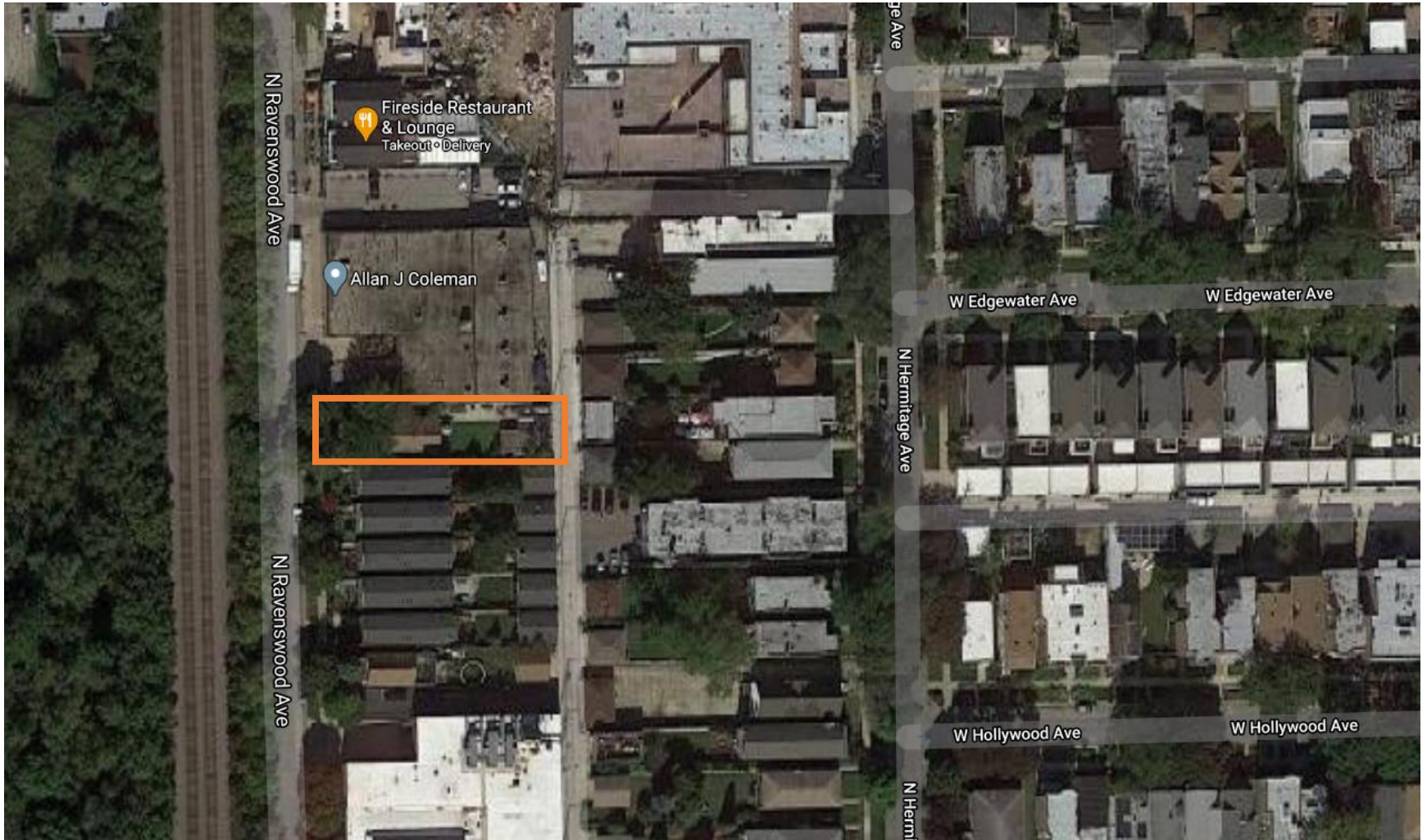
5717/19 N Ravenswood Ave, Chicago IL 60660

# Rendering of Proposed Front Façade



5717/19 N Ravenswood Ave, Chicago IL 60660

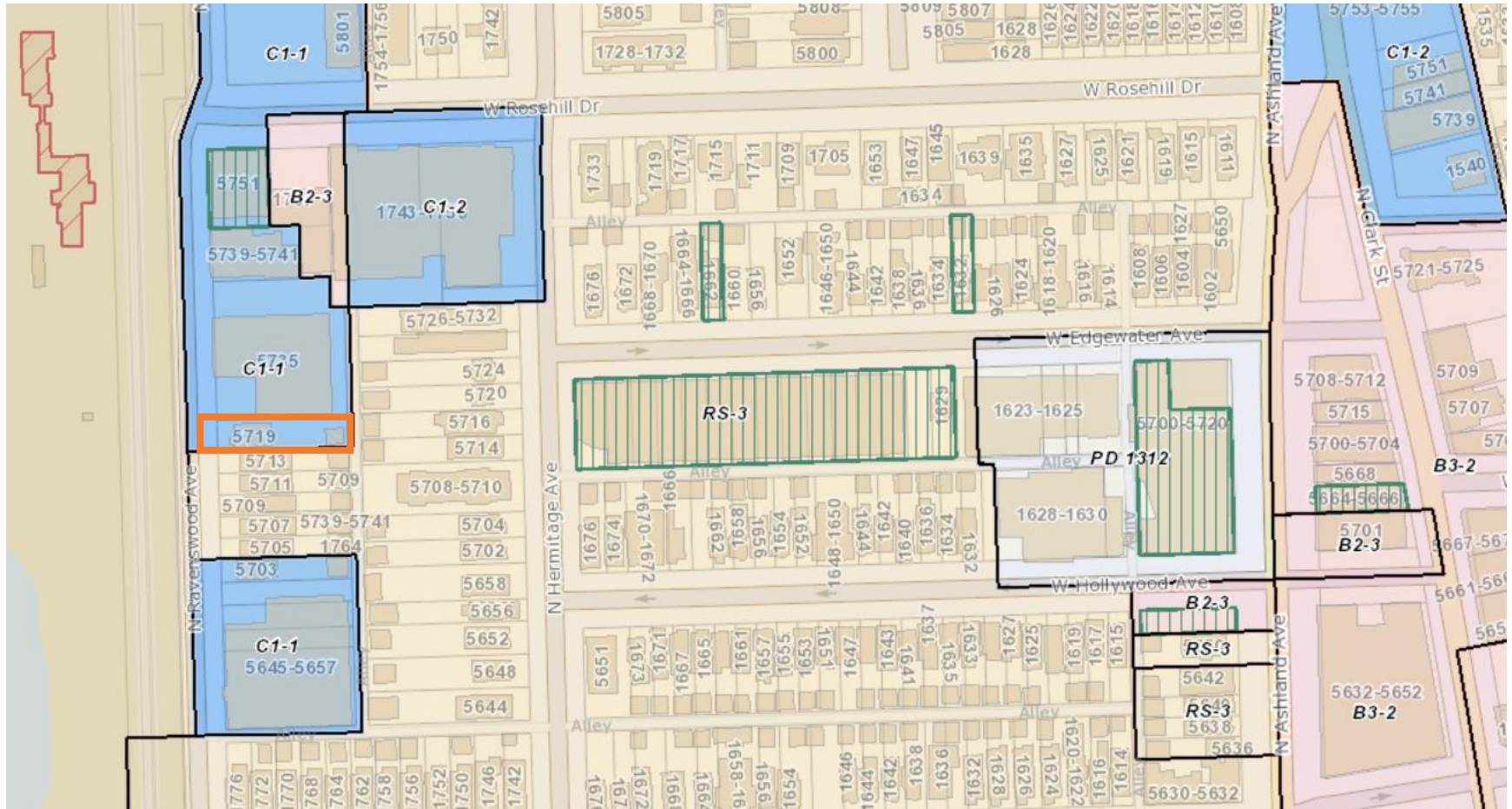
## Satellite View of Lot



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## Current Zoning is C1-1: Neighborhood Commercial District

Retail storefronts. Allows more business types than B1 districts, including liquor stores, warehouses, and auto shops. Apartments permitted above the ground floor.



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Existing single-family home built ~1891

Front view looking east from Ravenswood



Rear view looking west



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## Street scene

Looking north



Looking south



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Five single-family homes (RS-3) built to south of lot over past ~15 years



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## Proposed structure vs zoning requirements

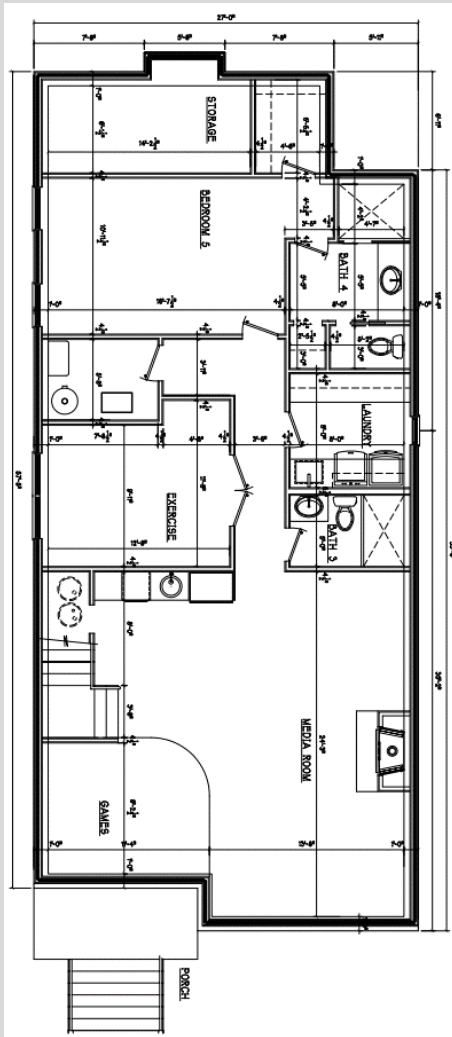
- Three floors (including basement) ~4,500 sq ft

	Current Zoning	Proposed Zoning	Proposed Structure
Zoning	C1-1	RS-3	RS-3
Min Lot Area	2,500 sf ft + commercial	2,500 sq ft	Actual = 5,966 sq ft
Floor Area Ratio (F.A.R.)	1.2 (7,159 sq ft for lot)	0.9 (5,369 sq ft for lot)	0.5 (3,027 sq ft)
Building Height	Varies, but 38 ft max	30 ft max	30 ft
<b>Setbacks</b>			
Front	None	Lessor of 20ft or 16% of lot depth, or avg of nearest 2 lots	15 ft (average of neighbors)
Side	None	Combined 20% of width, with neither less than greater of 2ft or 8% of width	11 ft total (3 ft on left; 8 ft on right)
Back	30 ft min (if property has dwelling units)	Lessor of 50ft or 28% of lot depth	81 ft

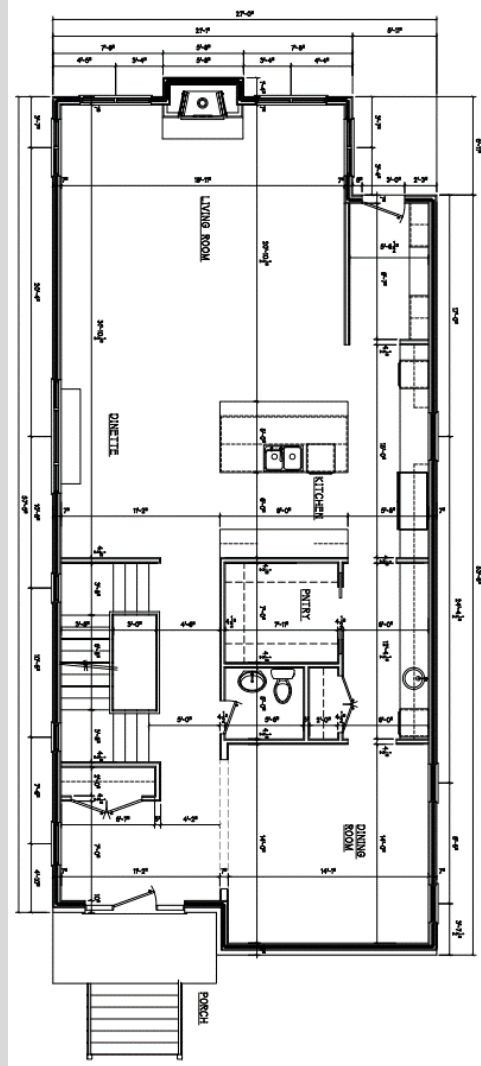
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Preliminary plans for single-family home, zoned RS-3

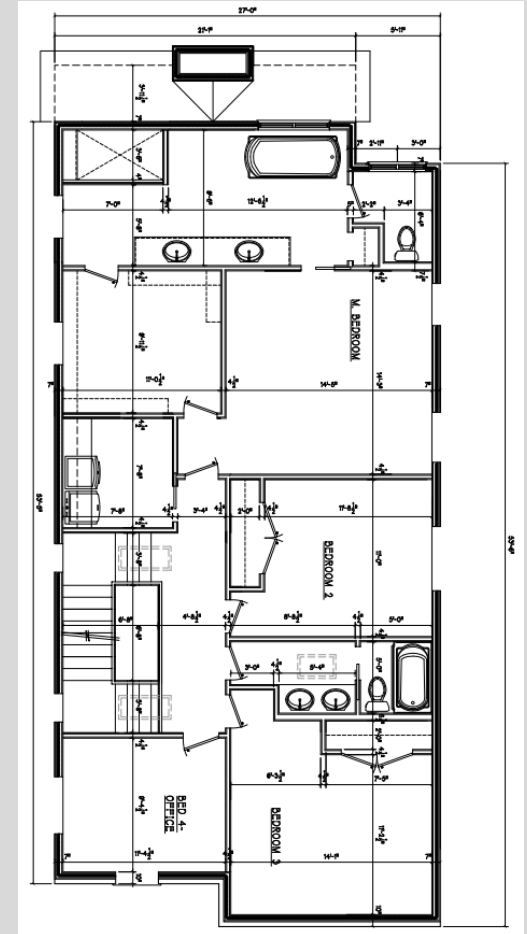
**Basement**



**1st Floor**



**2nd Floor**



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